



Arlington Zoning Board of Appeals

Date: Tuesday, October 25, 2022
Time: 7:30 PM
Location: Conducted by remote participation
Additional Details:

Agenda Items

Administrative Items

1. **Remote Participation Details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.
When: Oct 25, 2022 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:
<https://town-arlington-ma-us.zoom.us/join/tZcrf-uoqD8pHdGOMo3KgHAP6Chv0fODrgdb>

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID 836 8206 4375

Dial by your location
+1 312 626 6799 US (Chicago)
+1 646 876 9923 US (New York)
+1 646 931 3860 US
+1 301 715 8592 US (Washington DC)

2. **Members Vote: Approval of Meeting Minutes from Sept. 27, 2022**

3. **Remote Participation Study Committee**

The Board will discuss options for shifting meetings to a hybrid format with members

of the Remote Participation Study Committee.

Hearings

4. **Docket # 3715: 39 Woodside Lane (Continuance)**
5. **Docket # 3703: 1-3 Edith Street**
6. **Docket # 3718: 24 Langley Road**

Meeting Adjourn

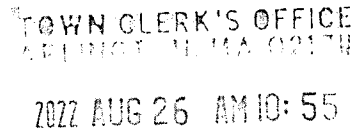


Town of Arlington, Massachusetts

Docket # 3715: 39 Woodside Lane (Continuance)

ATTACHMENTS:

Type	File Name	Description
Reference Material	ZBA_Package__39_Woodside_Lane.pdf	ZBA Package, 39 Woodside Lane
Reference Material	39_Woodside_Lane_Design_Dwg_9.24.22.pdf	39 Woodside Lane Design Dwg 9.24.22
Reference Material	39_Woodside_Ln_Topo.pdf	39 Woodside Ln Topo
Reference Material	Zimmer-Keller_Letter_9-27-22.pdf	Zimmer-Keller Letter 9-27-22
Reference Material	3715_39_Woodside_Lane.pdf	3715_39 Woodside Lane
Reference Material	39_Woodside_Lane_Design_Dwg_10.20.22.pdf	39 Woodside Lane Design Dwg 10.20.22
Reference Material	139_WOODSIDE_LANE_TREE_PLAN_10.25.22_ZBA.pdf	139 WOODSIDE LANE TREE PLAN_10.25.22 ZBA
Reference Material	distances_.pdf	distances_
Reference Material	Letter_and_sec_5.3.22.pdf	Letter and sec 5.3.22
Reference Material	REVIEW_OF_NEIGHBORHOOD_-_10.25.2022.pdf	REVIEW OF NEIGHBORHOOD - 10.25.2022
Reference Material	SPECIAL_PERMIT_APP_-_pages_1-3.pdf	SPECIAL PERMIT APP - pages 1-3
Reference Material	SPECIAL_PERMIT_APP_-_pages_4-5.pdf	SPECIAL PERMIT APP - pages 4-5
Reference Material	SURVEY.pdf	SURVEY
Reference Material	39_Woodside_Lane_Objection_Oct_25_2022_spreadsheet.pdf	39 Woodside Lane Objection_Oct 25 2022 spreadsheet
Reference Material	39_Woodside_Lane_Objection_Schilder.pdf	39 Woodside Lane Objection_Schilder



RECEIVED

4 of 110

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of 39 Woodside Lane
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

R-1 Zoning District. Applicant seeks a special permit for a large addition - Zoning Bylaw
Section 5.4B(6).

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 39 Woodside Lane with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

R-1 Zoning District. Applicant seeks a special permit for a large addition - Zoning Bylaw Section
5.4.2B(6).

E-Mail: steph@acgeneralcontractinginc.com Signed:  Date: 08/11/2022

Telephone: 857-888-2134 Address: 28 Revere Road, Woburn, MA 01801

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.
R-1 Zoning District. Applicant seeks a special permit for a large addition - Zoning Bylaw Section 5.4.2B(6).

B). Explain why the *requested use is essential or desirable to the public convenience or welfare*.
The requested special permit and the construction/remodeling contemplated will substantially improve an existing property which is in substantial disrepair. It will enhance the property, the neighborhood and are in keeping with the character of the neighborhood.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety*.
We are not adding any additional vehicles to the roadway system.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare*.
We are not adding any additional water or sewer service connections we are only adding an addition to an existing single family dwelling.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

No special regulations apply.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The proposed renovations will significantly enhance and improve this property which is in disrepair.

As such, the proposed renovations will positively enhance the neighborhood and are in keeping with

the character of the neighborhood.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposed renovations are to an existing single family home. When completed, the home will

remain a single family but will have a more adequate living space for a family. The proposed

addition will clearly not cause an excess of that particular use nor will it be detrimental to the

character of the neighborhood.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For Applications to the Zoning Board of Appeals

1. Property Location: 39 Woodside Lane Zoning District: R-1

2. Present Use/Occupancy: Residential No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
1780 Sq. Ft.

4. Proposed Use/Occupancy: residential No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
4145 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	9,120 s.f.	9,120 s.f.	min. 6,000 s.f.
7. Frontage (Ft.)	64.27'	64.27'	min. 60'
8. Floor area ratio	0.19	0.45	max.
9. Lot Coverage (%)	11.5%	26.8%	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	9,120 s.f.	9,120 s.f.	min. 6,000 s.f.
11. Front Yard Depth (Ft.)	38.3'	25.2'	min. 25'
12. Left Side Yard Depth (Ft.)	13.6'	10.4'	min. 10'
13. Right Side Yard Depth (Ft.)	36.6'	14.8'	min. 10'
14. Rear Yard Depth (Ft.)	11.9'	11.9'	min. 20'
15. Height (Stories)	2	2	max. 2 1/2
16. Height (Ft.)	29.0'	34.2'	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5,424 s.f.	4,589 s.f.	
17A. Landscaped Open Space (% of GFA)	304 %	111 %	min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5,424 s.f.	4,589 s.f.	
18A. Usable Open Space (% of GFA)	304 %	111 %	min. 30%
19. Number of Parking Spaces	1	2	min. 2
20. Parking area setbacks (if applicable)	N/A	N/A	min.
21. Number of Loading Spaces (if applicable)	N/A	N/A	min.
22. Type of construction	Wood	Wood	N/A
23. Slope of proposed roof(s) (in. per ft.)	4/12	6/12	min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 39 Woodside Lane Zoning District: R-1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>9,120 s.f.</u>	<u>9,120 s.f.</u>
Open Space, Usable	<u>5,424 s.f.</u>	<u>4,589 s.f.</u>
Open Space, Landscaped	<u>5,424 s.f.</u>	<u>4,589 s.f.</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

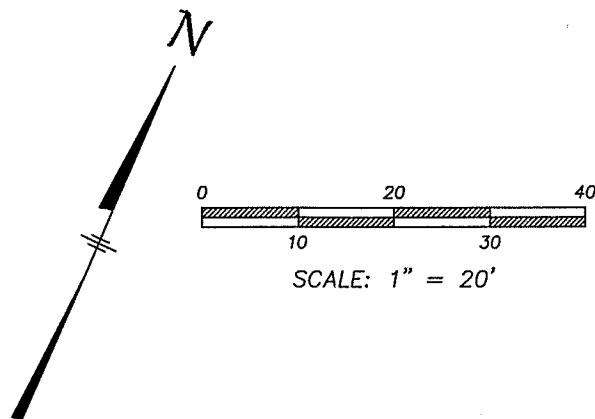
<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>0</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>0</u>
1 st Floor	<u>703</u>	<u>1895</u>
2 nd Floor	<u>739</u>	<u>1481</u>
3 rd Floor	<u>0</u>	<u>0</u>
4 th Floor	<u>0</u>	<u>0</u>
5 th Floor	<u>0</u>	<u>0</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>338</u>	<u>769</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>0</u>	<u>0</u>
All weather habitable porches and balconies		
Total Gross Floor Area (GFA)	<u>1780</u>	<u>4145</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>5,424 s.f.</u>	<u>4,589 s.f.</u>
Landscaped Open Space (% of GFA)	<u>30.4 %</u>	<u>111 %</u>
Usable Open Space (Sq. Ft.)	<u>5,424 s.f.</u>	<u>4,589 s.f.</u>
Usable Open Space (% of GFA)	<u>30.4 %</u>	<u>111 %</u>

This worksheet applies to plans dated 06.20.22 designed by Paul R. Lessard
Architect

Reviewed with Building Inspector: _____ Date: _____



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: BETTER HOMES REALTY LLC

TITLE REFERENCE: BK 79628 PG 176

PLAN REFERENCE: BK 7738 END


THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

SURVEYOR'S CERTIFICATION:

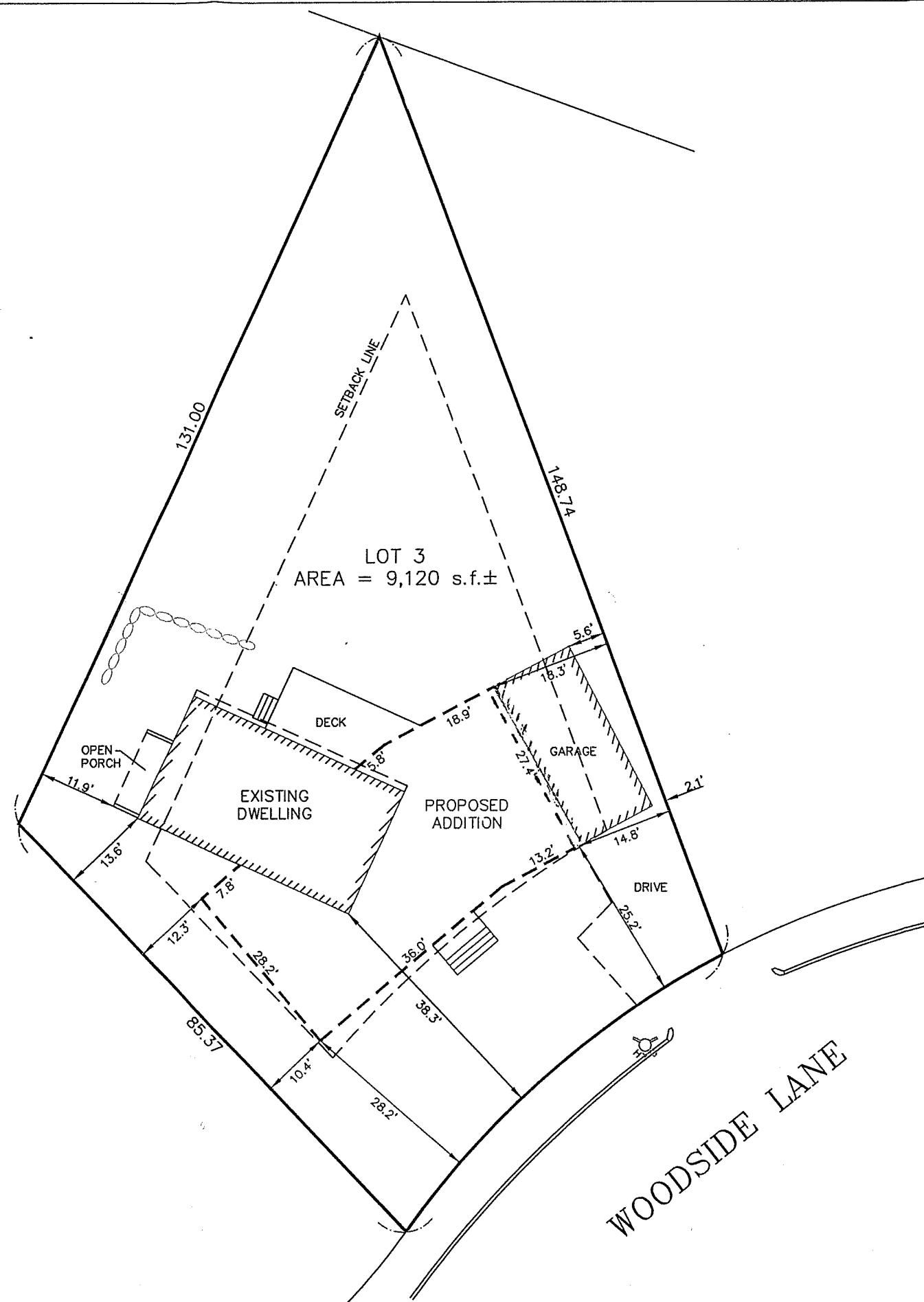
TO: BETTER HOMES REALTY L.L.C.

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: MAY 20, 2022
DATE OF PLAN: MAY 20, 2022
DATE OF PLAN: JULY 20, 2022 (PROPOSED ADDITION)
REVISION: AUGUST 6, 2022 (PROPOSED ADDITION CHANGED)



RICHARD J. MEDE, JR. P.L.S.

08/06/2022
DATE:



PROPOSED PLOT PLAN
39 WOODSIDE ROAD
ARLINGTON, MA.
(MIDDLESEX COUNTY)

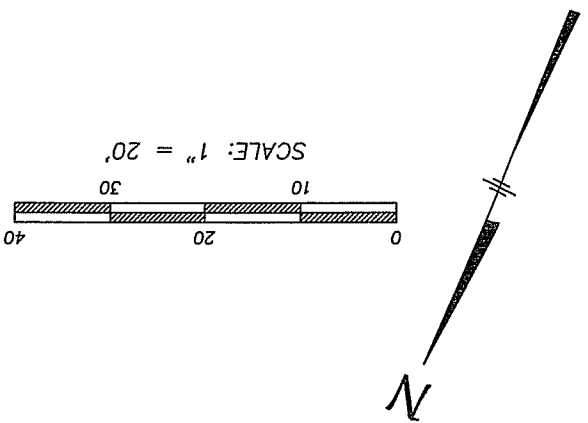
PREPARED BY:

**MEDFORD
ENGINEERING
& SURVEY**

ANGELO B. VENEZIANO ASSOCIATES
15 HALL STREET, MEDFORD, MA 02155
781-396-4466 fax: 781-396-8052

PREPARED FOR:

A.C. GENERAL

DRAWN	CHECKED	FILE No.
CAV	RJM	21526



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: BETTER HOMES REALTY LLC

TITLE REFERENCE: BK 79628 PG 176

PLAN REFERENCE: BK 7738 END

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SURVEYOR'S CERTIFICATION:

TO: BETTER HOMES REALTY L.L.C.

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THE FIELD WORK WAS COMPLETED ON: MAY 20, 2022

DATE OF PLAN: MAY 20, 2022

REVISION: MAY 25, 2022 (ELEVATIONS)

REVISION: JUNE 10, 2022 (ADDED ELEV)

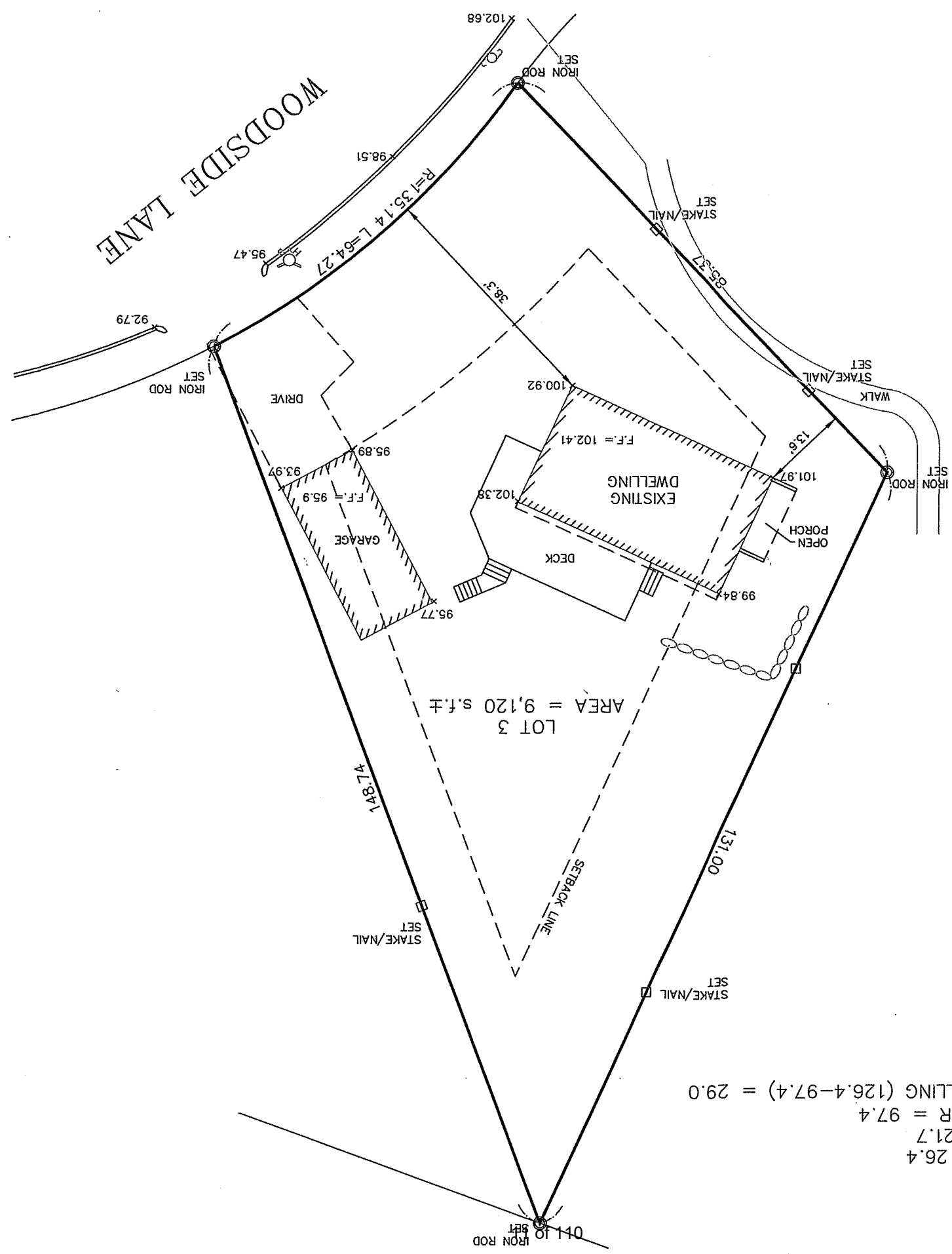
REVISION: JULY 21, 2022 (SET PROPERTY)

RICHARD J. MEDE, JR. P.L.S.

DATE: 07/21/2022



ROOF PEAK = 126.4
ROOF DRIP = 121.7
AVG TOP GUTTER = 97.4
HEIGHT OF DWELLING (126.4-97.4) = 29.0



PREPARED FOR:

A.C. GENERAL

PREPARED BY:

**MEDFORD
ENGINEERING
& SURVEY**

ANGELO B. VENEZIANO ASSOCIATES
15 HALL STREET, MEDFORD, MA 02155
781-396-4466 fax: 781-396-8052

CERTIFIED PLOT PLAN

39 WOODSIDE LANE

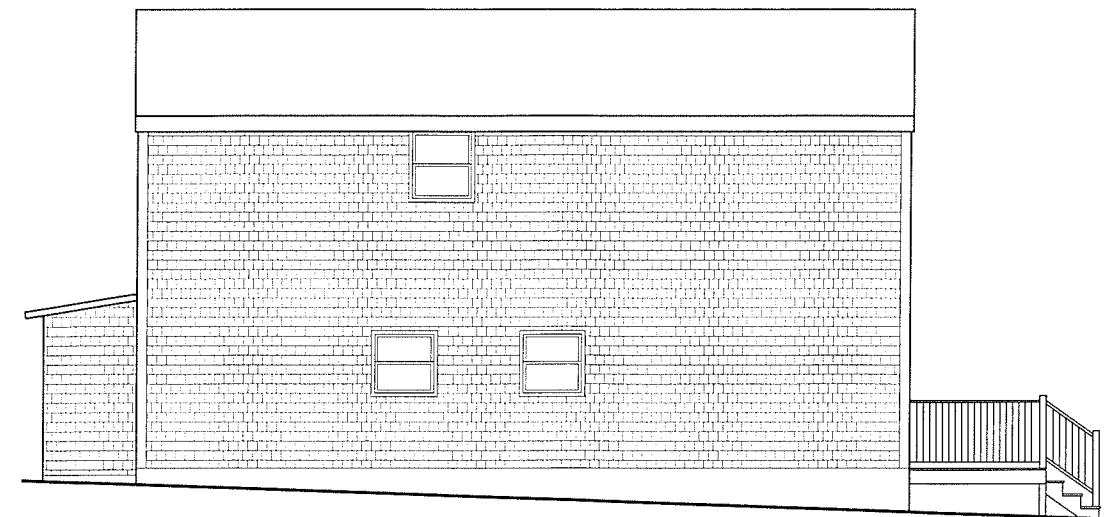
ARLINGTON, MA.

(MIDDLESEX COUNTY)

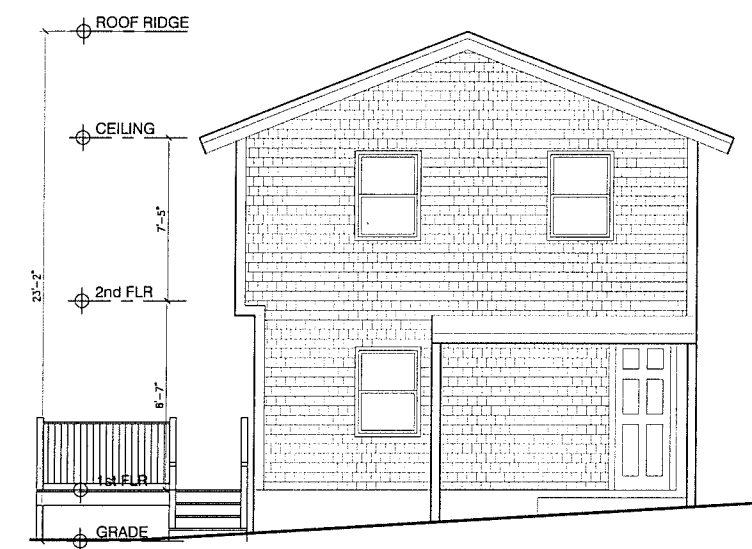
DRAWN	CHECKED	FILE NO.
CAV	RJM	21526



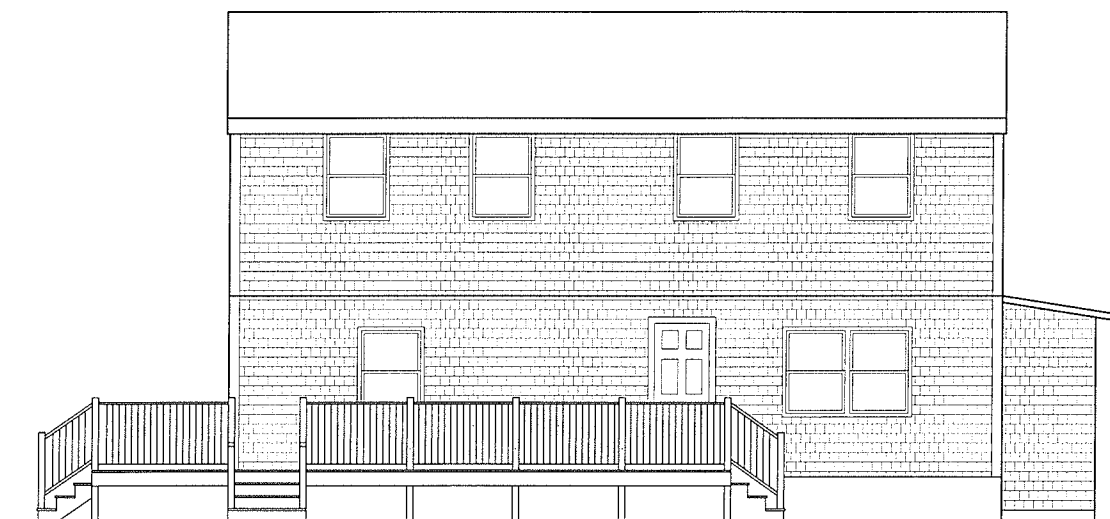
1
A1
EXISTING WEST (FRONT) ELEVATION
1/4" = 1'-0"



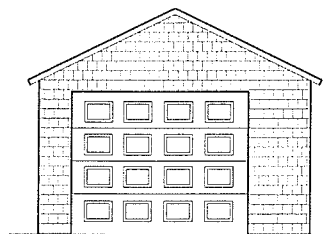
2
A1
EXISTING NORTH ELEVATION
1/4" = 1'-0"



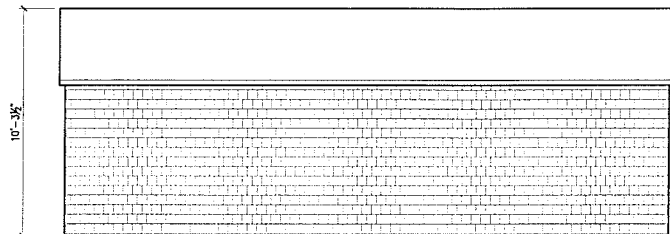
3
A1
EXISTING EAST (REAR) ELEVATION
1/4" = 1'-0"



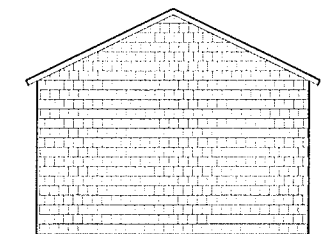
4
A1
EXISTING SOUTH ELEVATION
1/4" = 1'-0"



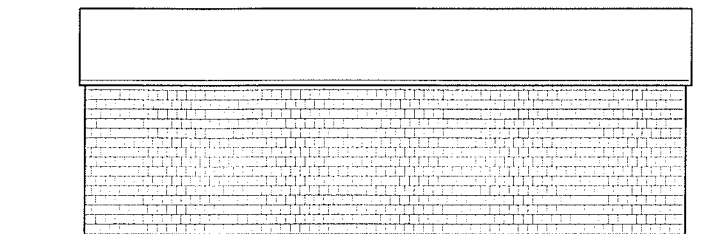
5
A1
EXISTING GARAGE WEST (FRONT) ELEV.
1/4" = 1'-0"



6
A1
EXISTING GARAGE NORTH ELEV.
1/4" = 1'-0"



7
A1
EXISTING GARAGE EAST ELEV.
1/4" = 1'-0"



8
A1
EXISTING GARAGE SOUTH ELEV.
1/4" = 1'-0"

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paulrarchitect.com

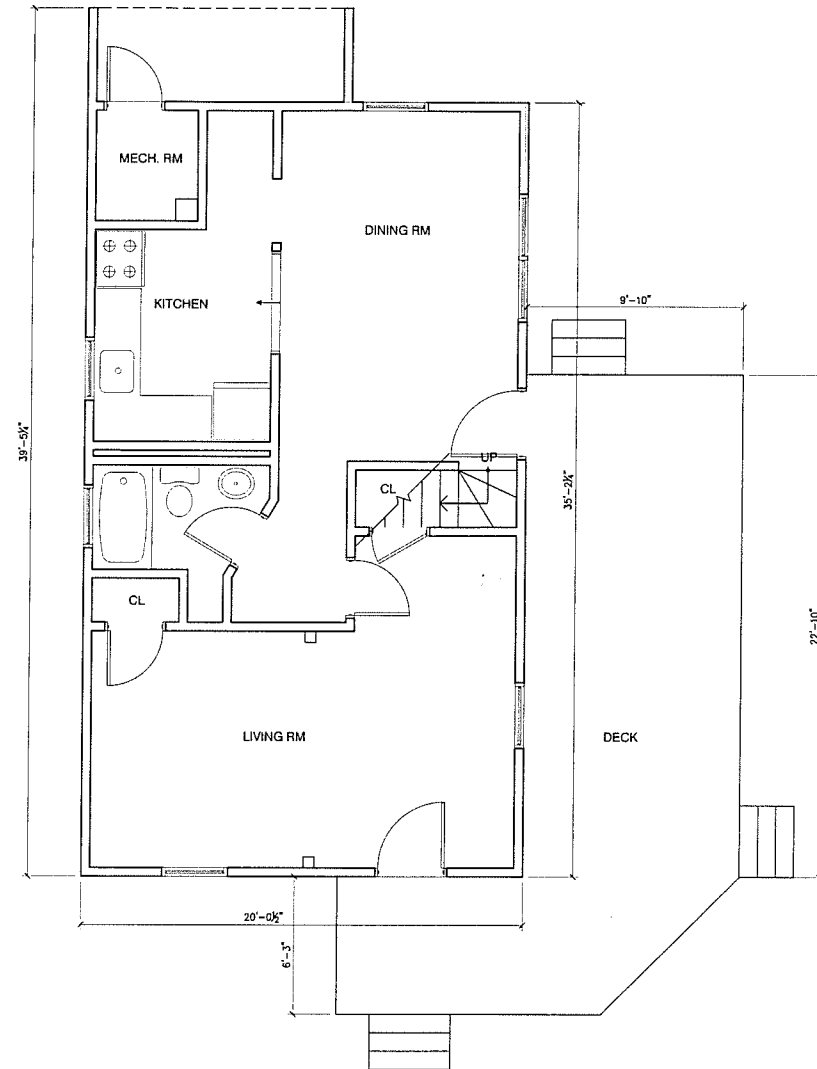
HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
EXISTING EXTERIOR ELEVATIONS

REVISIONS:

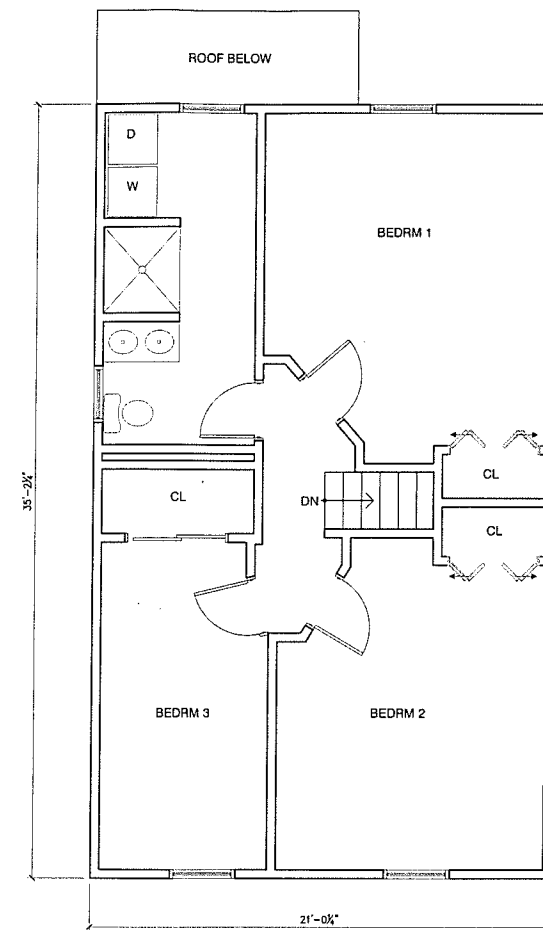
PROJECT
NUMBER:
DATE: 8/15/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

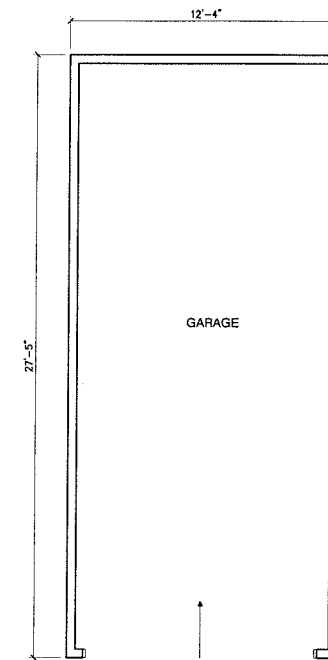
A1



1
A2
EXISTING 1st FLOOR PLAN
1/4"=1'-0"



2
A2
EXISTING 2nd FLOOR PLAN
1/4"=1'-0"



3
A2
EXISTING GARAGE FLOOR PLAN
1/4"=1'-0"



1
A3
PROPOSED FRONT ELEVATION
1/4" = 1'-0"

PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paularchitect.com

HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS

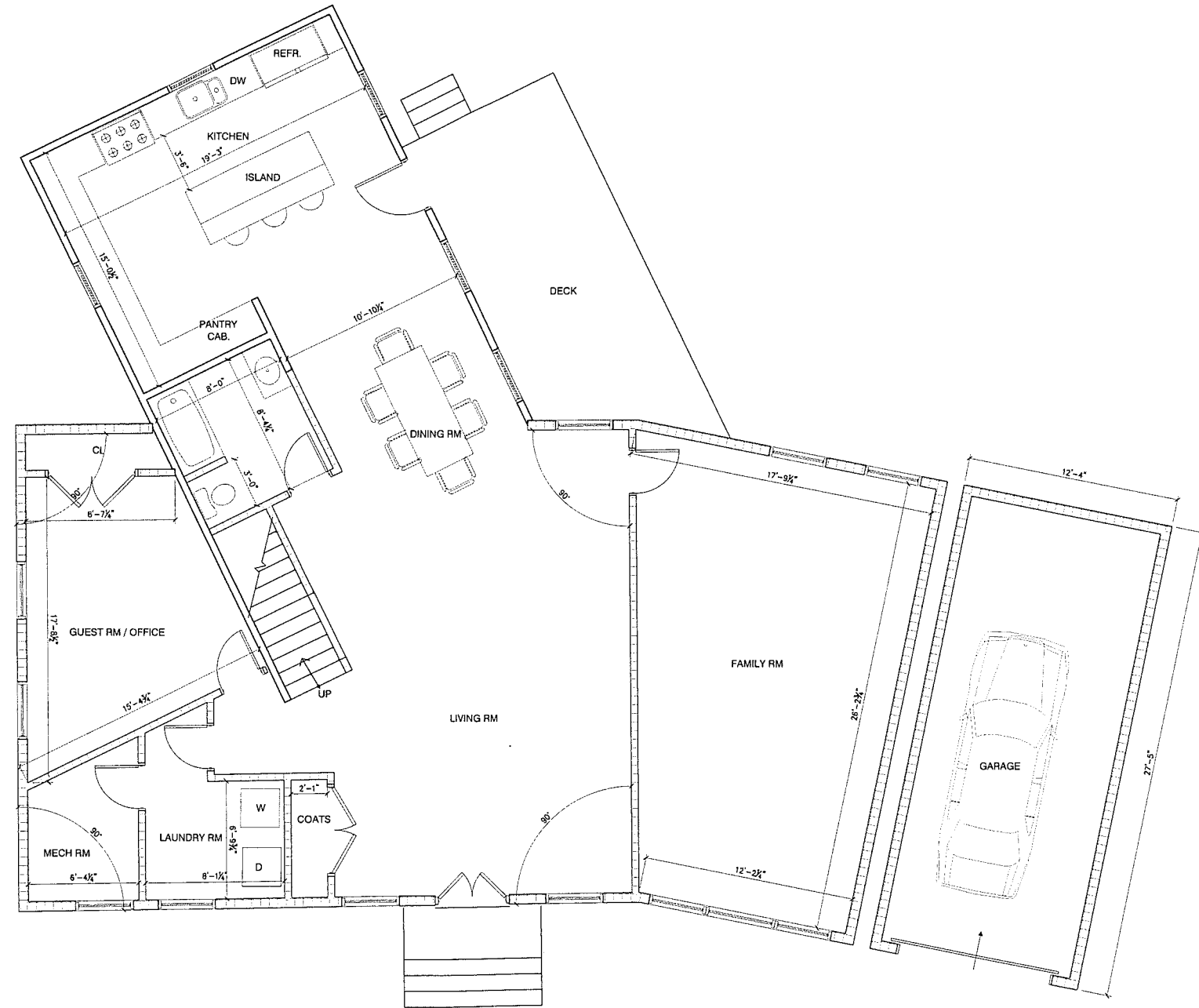
PROPOSED FRONT ELEVATION

REVISIONS:

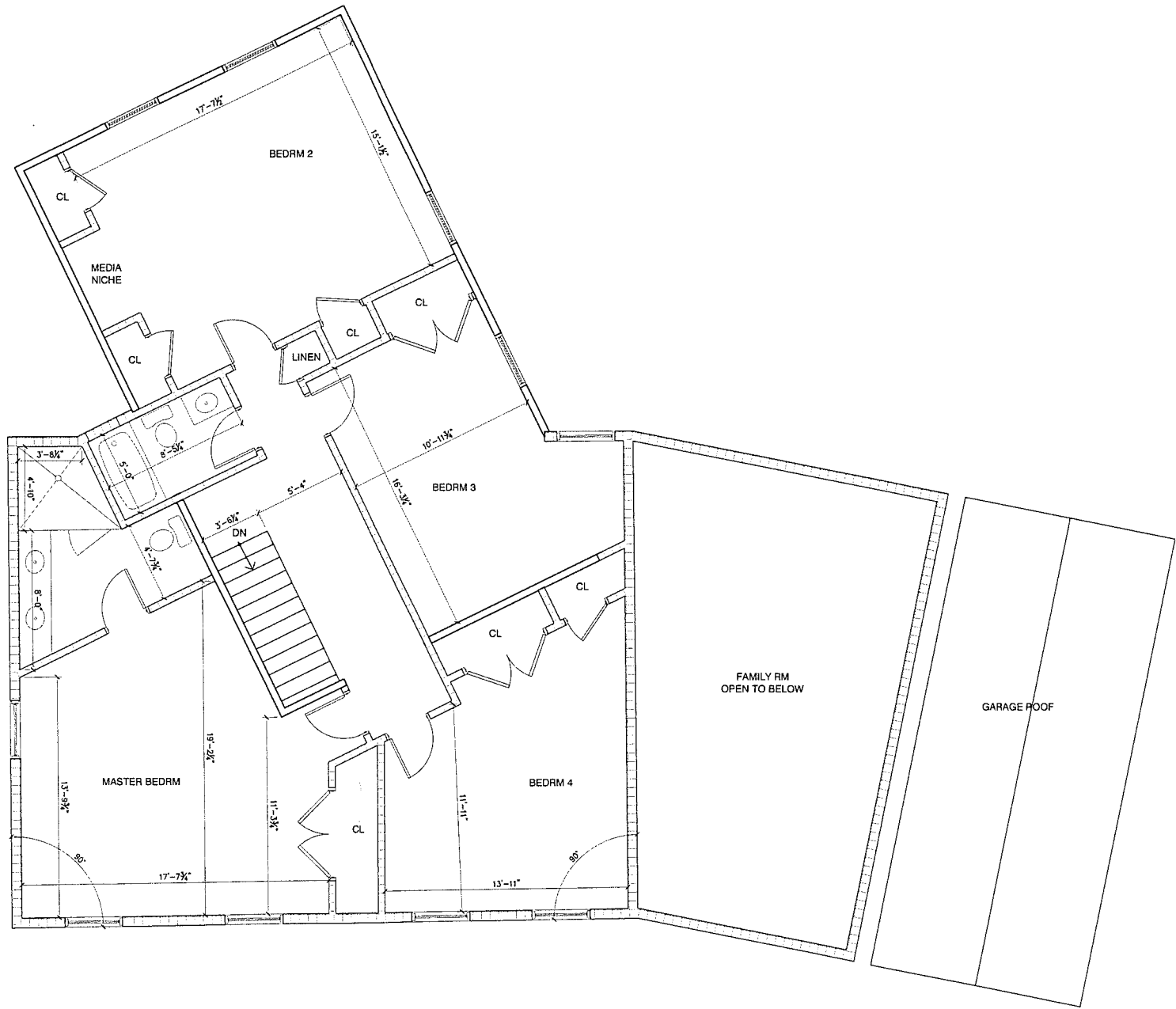
PROJECT
NUMBER:
DATE: 8/15/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A3



1
A4
PROPOSED 1st FLOOR PLAN
1/4"=1'-0"



1
A5
PROPOSED 2nd FLOOR PLAN
1/4" = 1'-0"

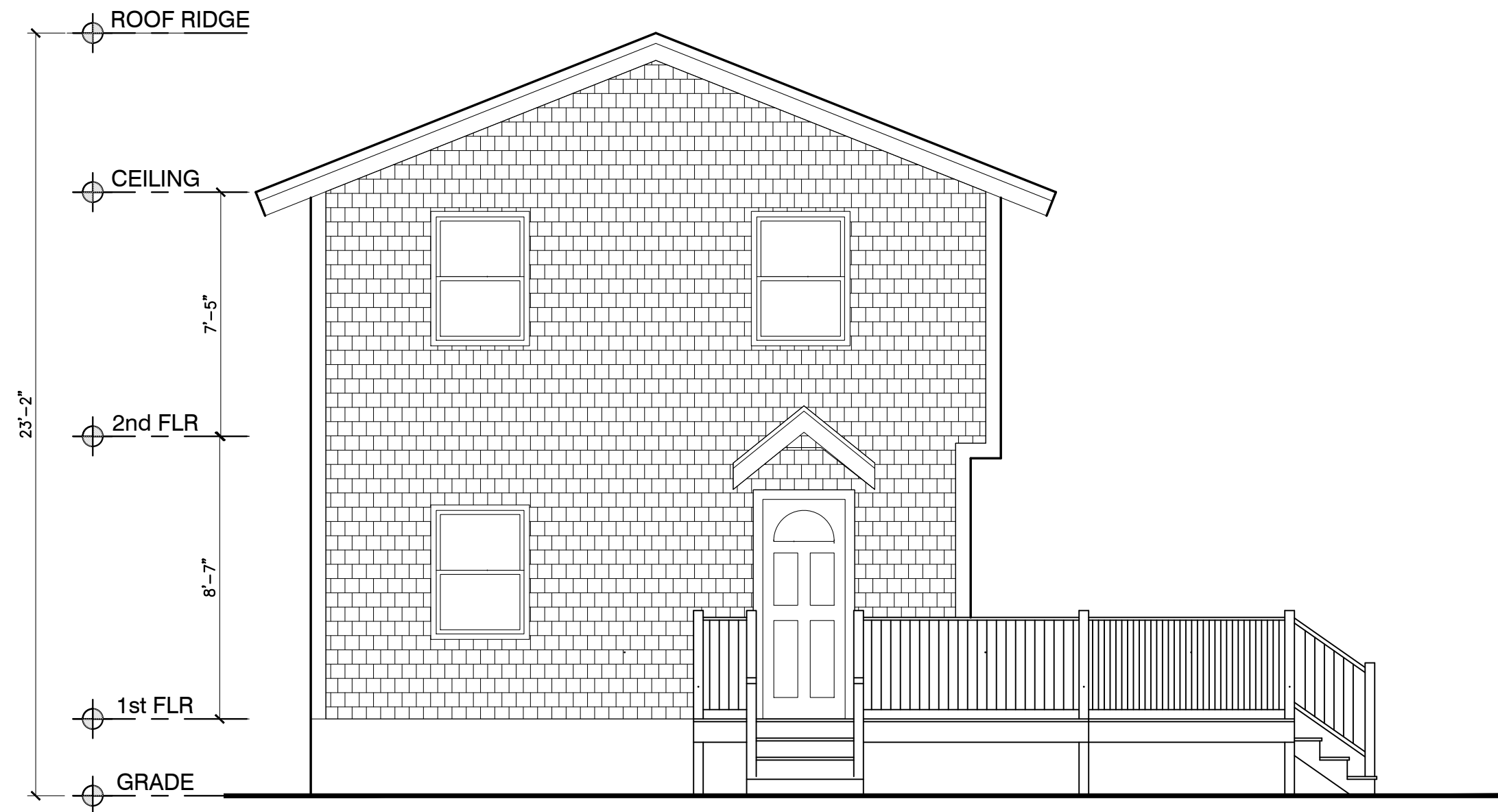
PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paularchitect.com

HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED 2nd FLOOR PLAN

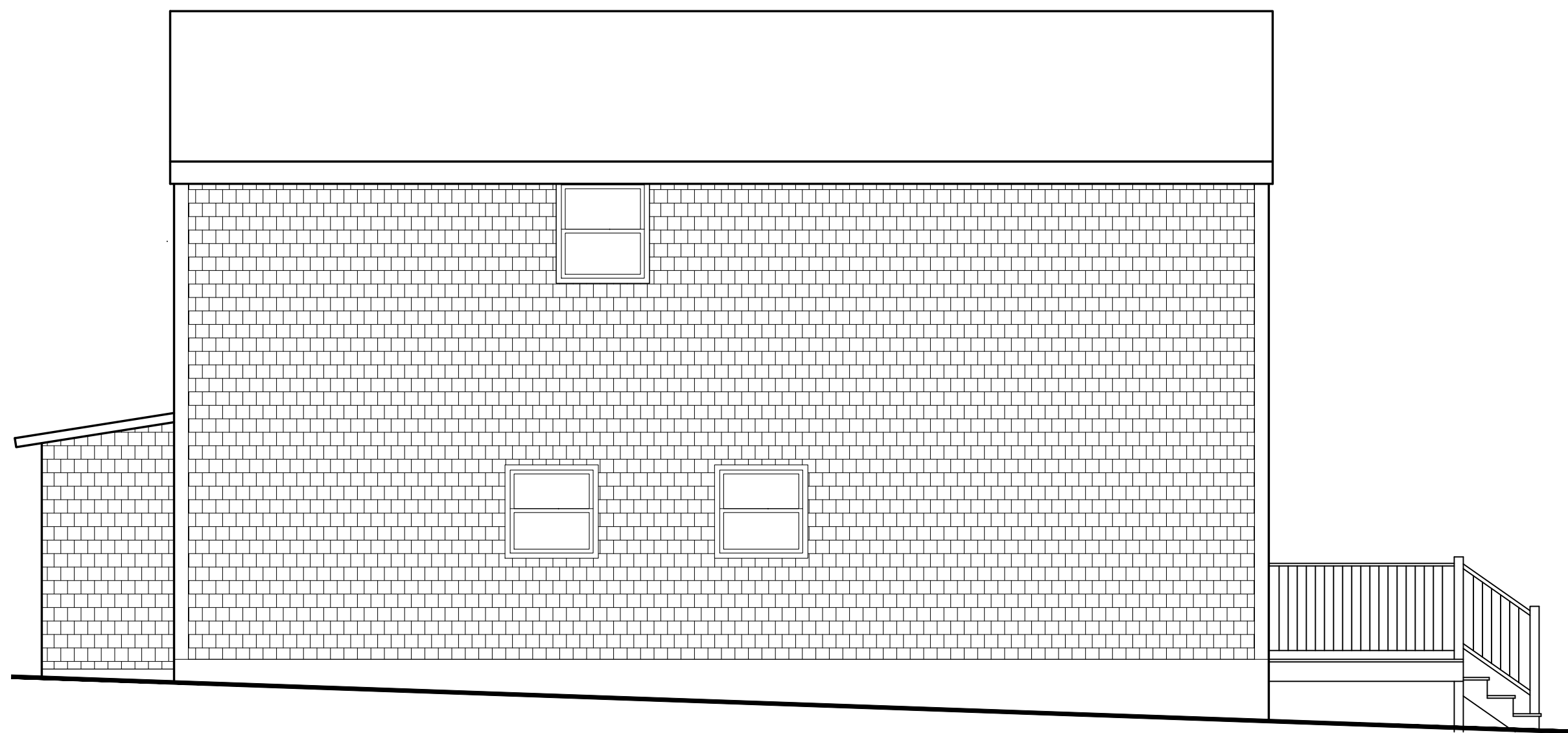
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PROJECT NUMBER:
DATE: 8/15/22
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CHECK:

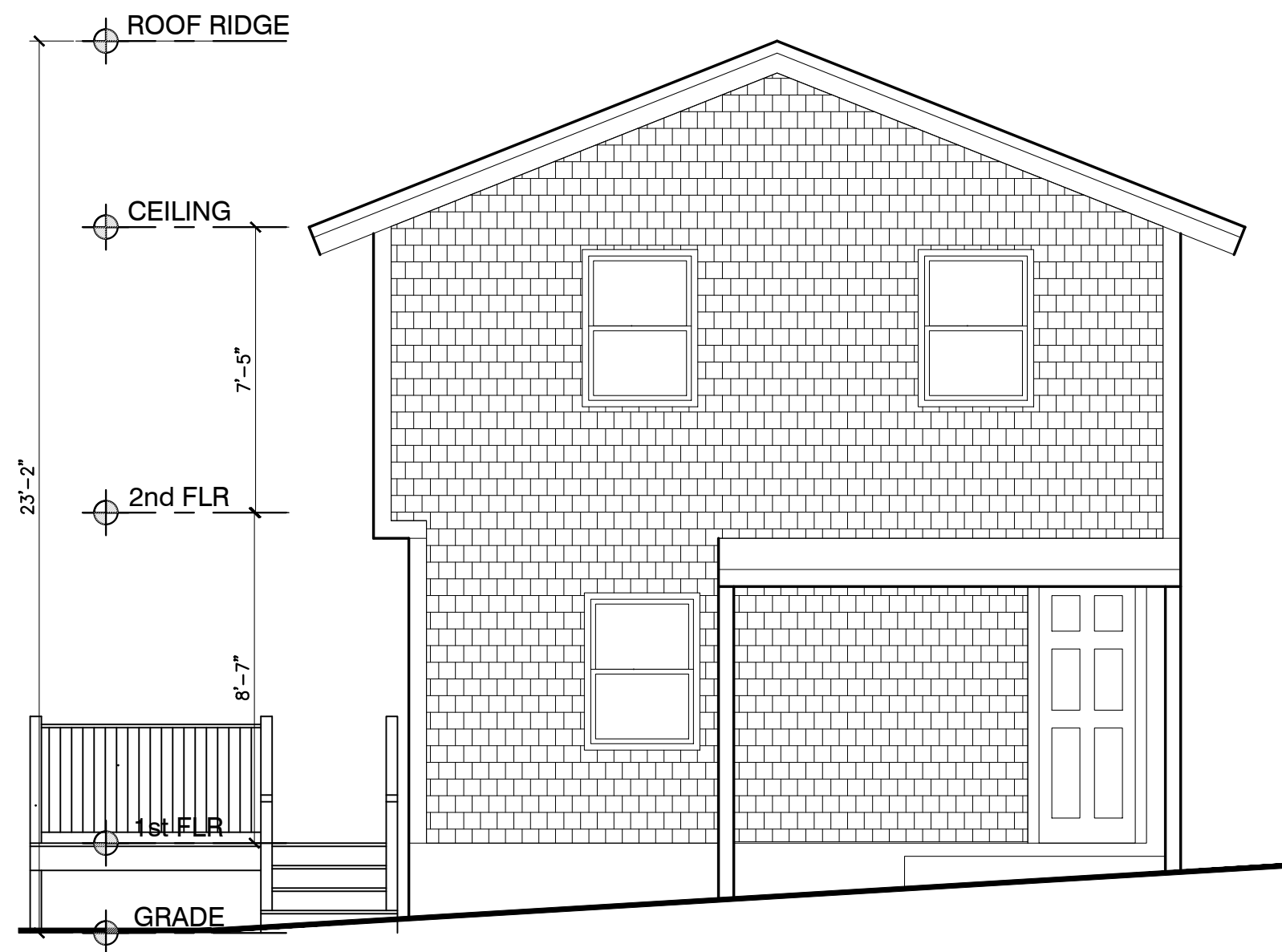
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A5



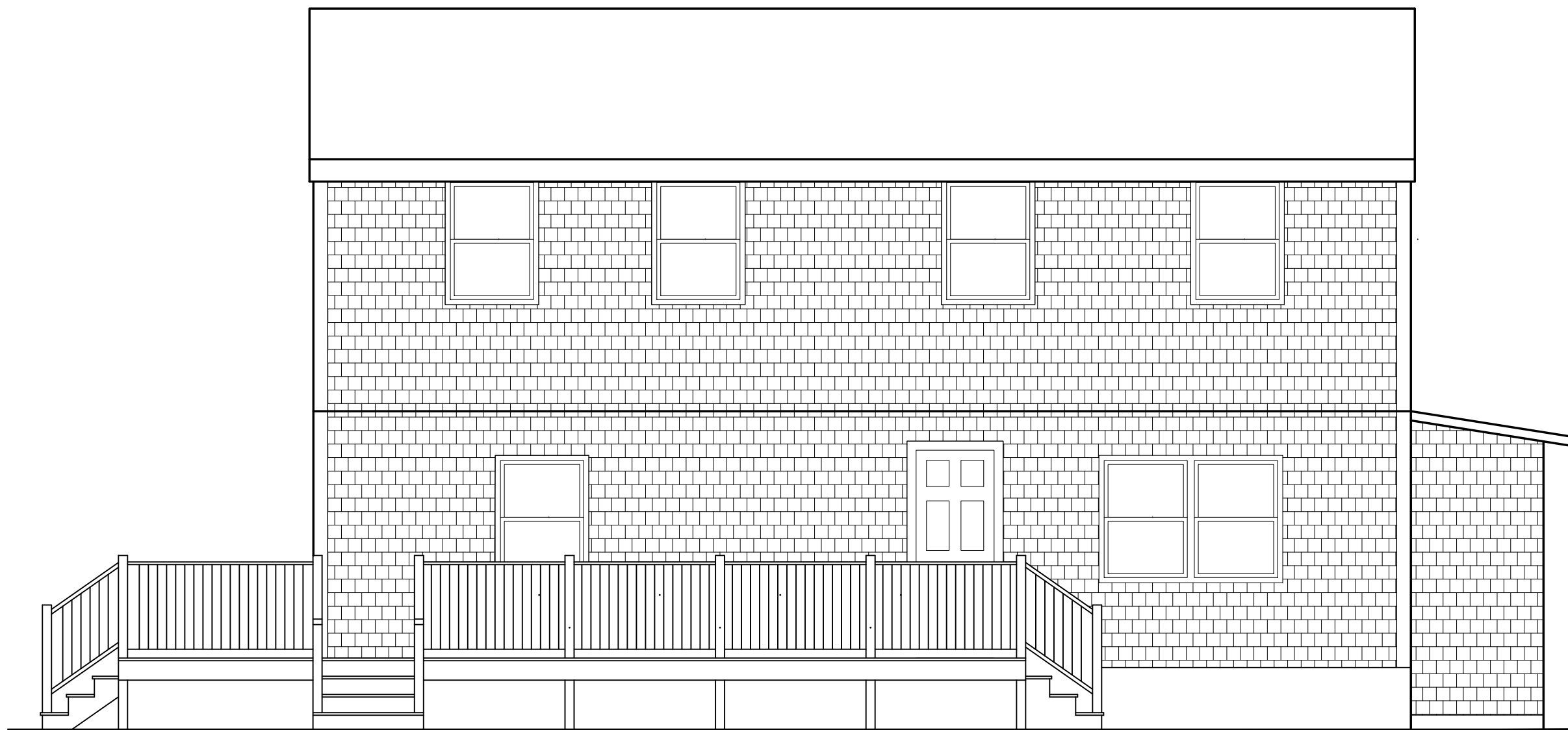
1
A1
EXISTING EAST (FRONT) ELEVATION
1/4"=1'-0"



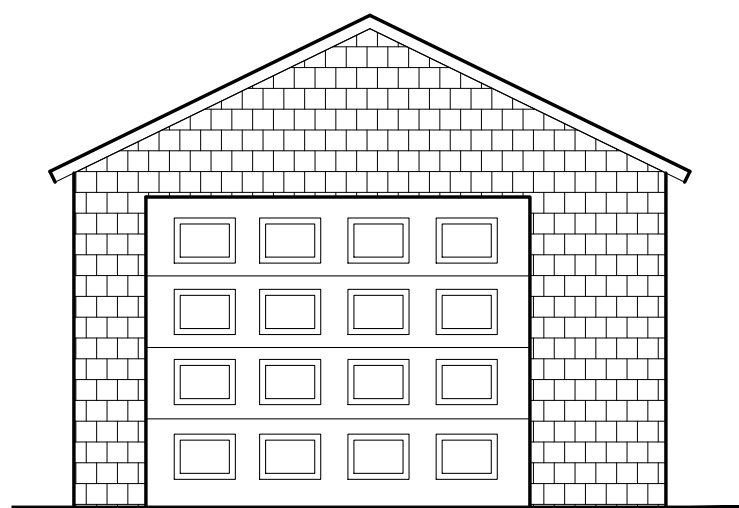
2
A1
EXISTING SOUTH ELEVATION
1/4"=1'-0"



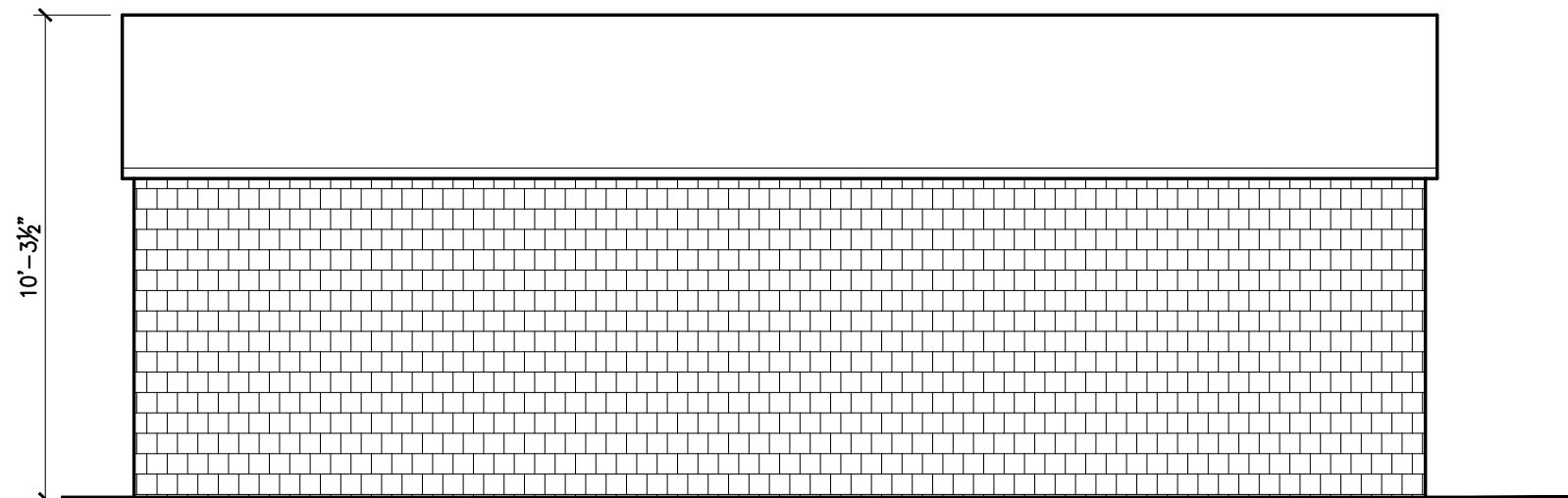
3
A1
EXISTING WEST (REAR) ELEVATION
1/4"=1'-0"



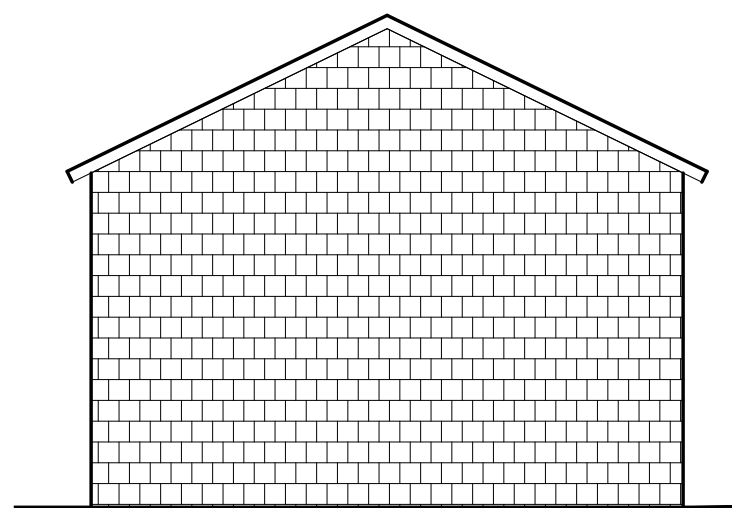
4
A1
EXISTING NORTH ELEVATION
1/4"=1'-0"



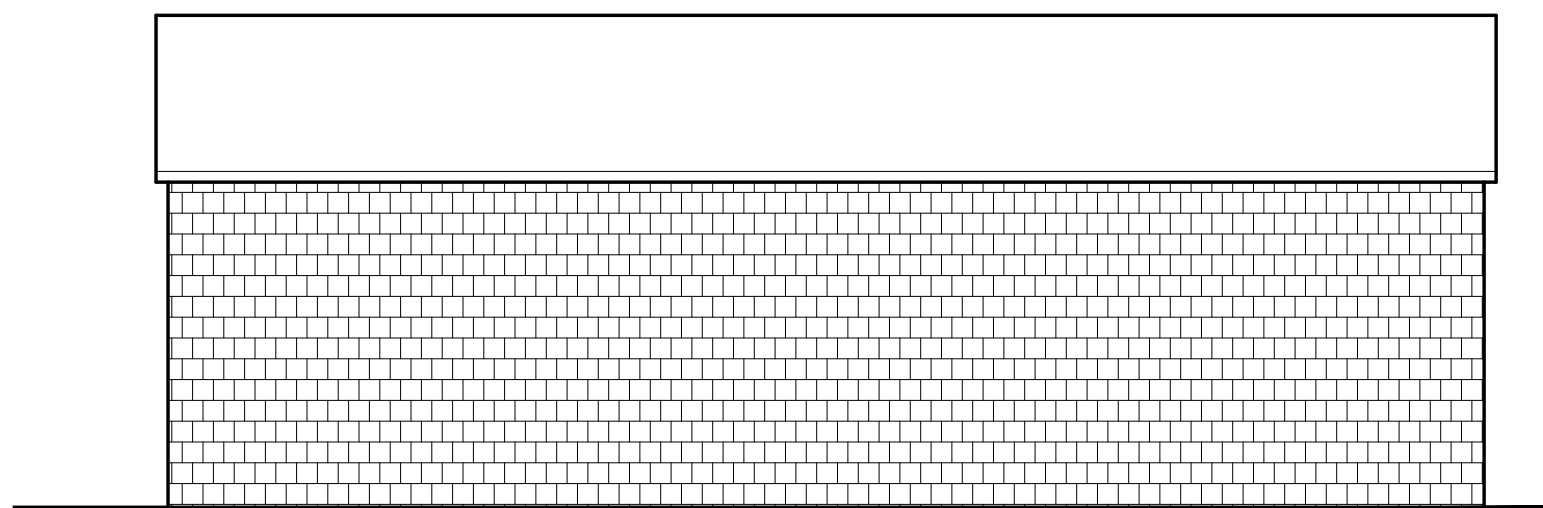
5
A1
EXISTING GARAGE EAST (FRONT) ELEV.
1/4"=1'-0"



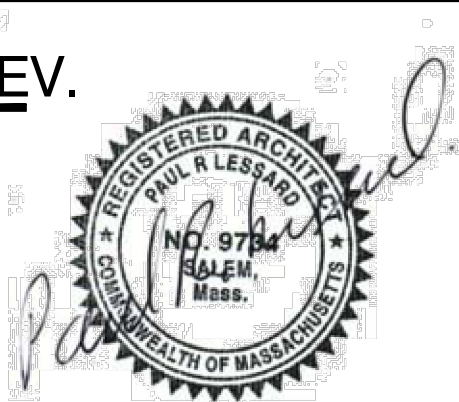
6
A1
EXISTING GARAGE SOUTH ELEV.
1/4"=1'-0"



7
A1
EXISTING GARAGE WEST ELEV.
1/4"=1'-0"



8
A1
EXISTING GARAGE NORTH ELEV.
1/4"=1'-0"



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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
EXISTING EXTERIOR ELEVATIONS

REVISIONS:

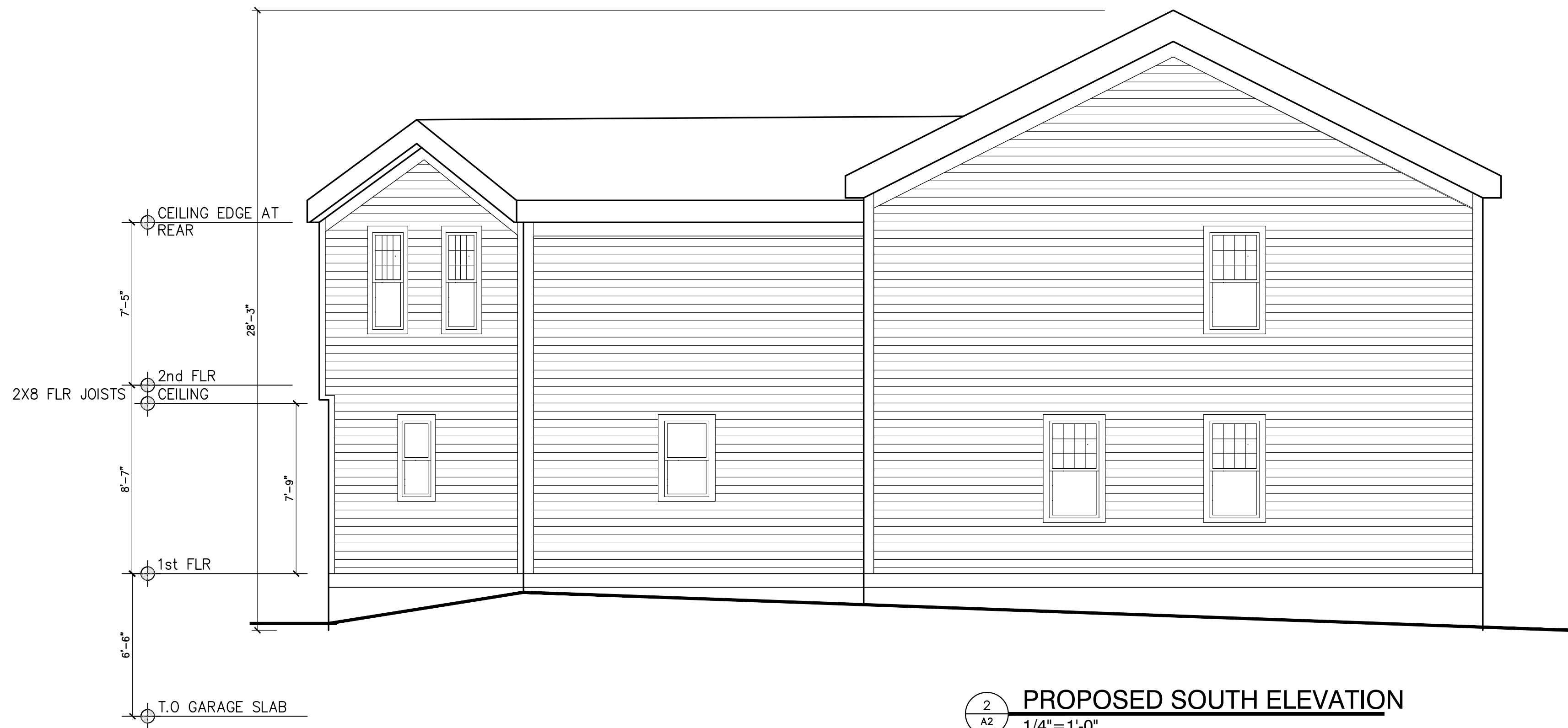
PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

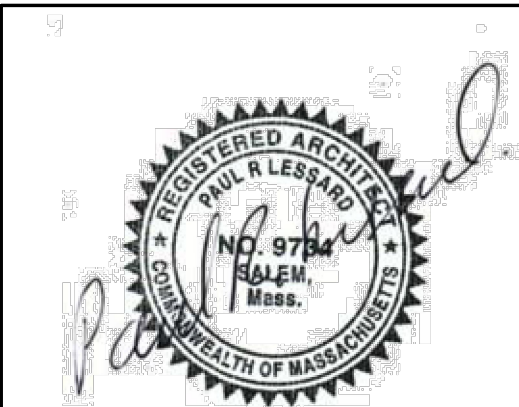
A1



1
A2
PROPOSED EAST (FRONT) ELEVATION
1/4"=1'-0"



2
A2
PROPOSED SOUTH ELEVATION
1/4"=1'-0"



PAUL R. LESSARD
• REGISTERED ARCHITECT •
13 STATION ROAD SALEM, MA 01970
(978) 210-1960 paul@paularchitect.com

HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED EXTERIOR SOUTH & WEST ELEVATIONS

REVISIONS:

PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

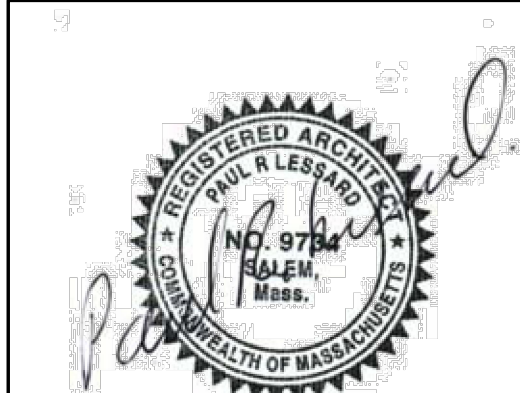
A2



1
A3
PROPOSED WEST (REAR) ELEVATION
1/4"=1'-0"



2
A3
PROPOSED NORTH ELEVATION
1/4"=1'-0"



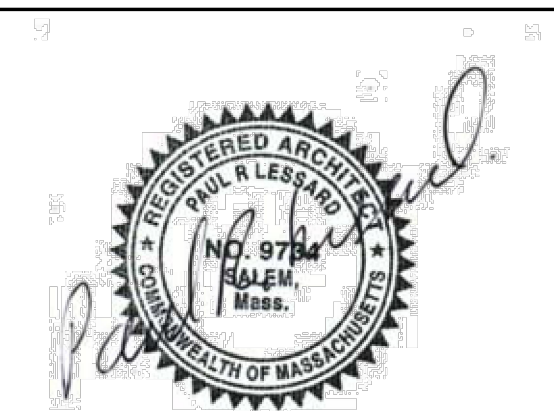
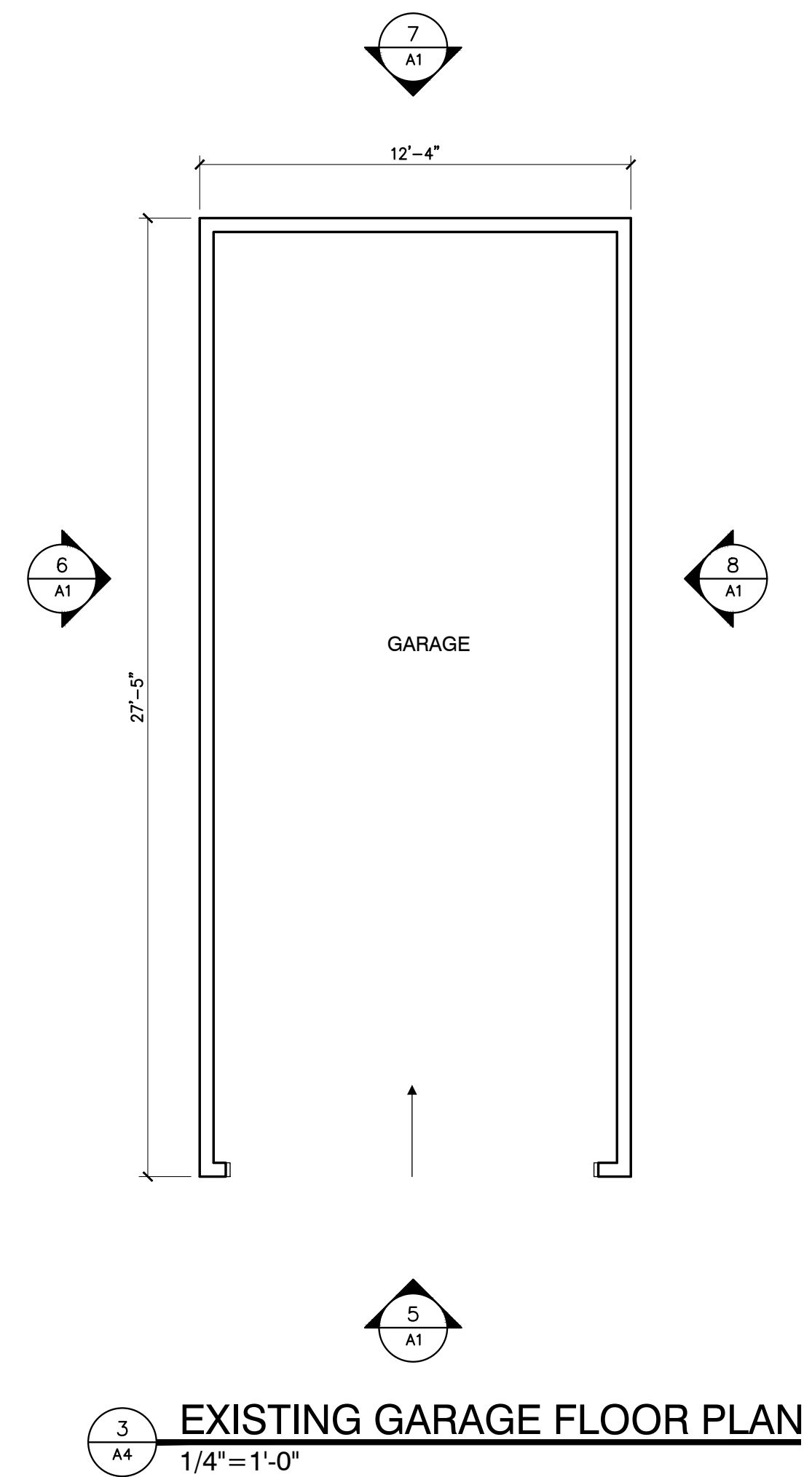
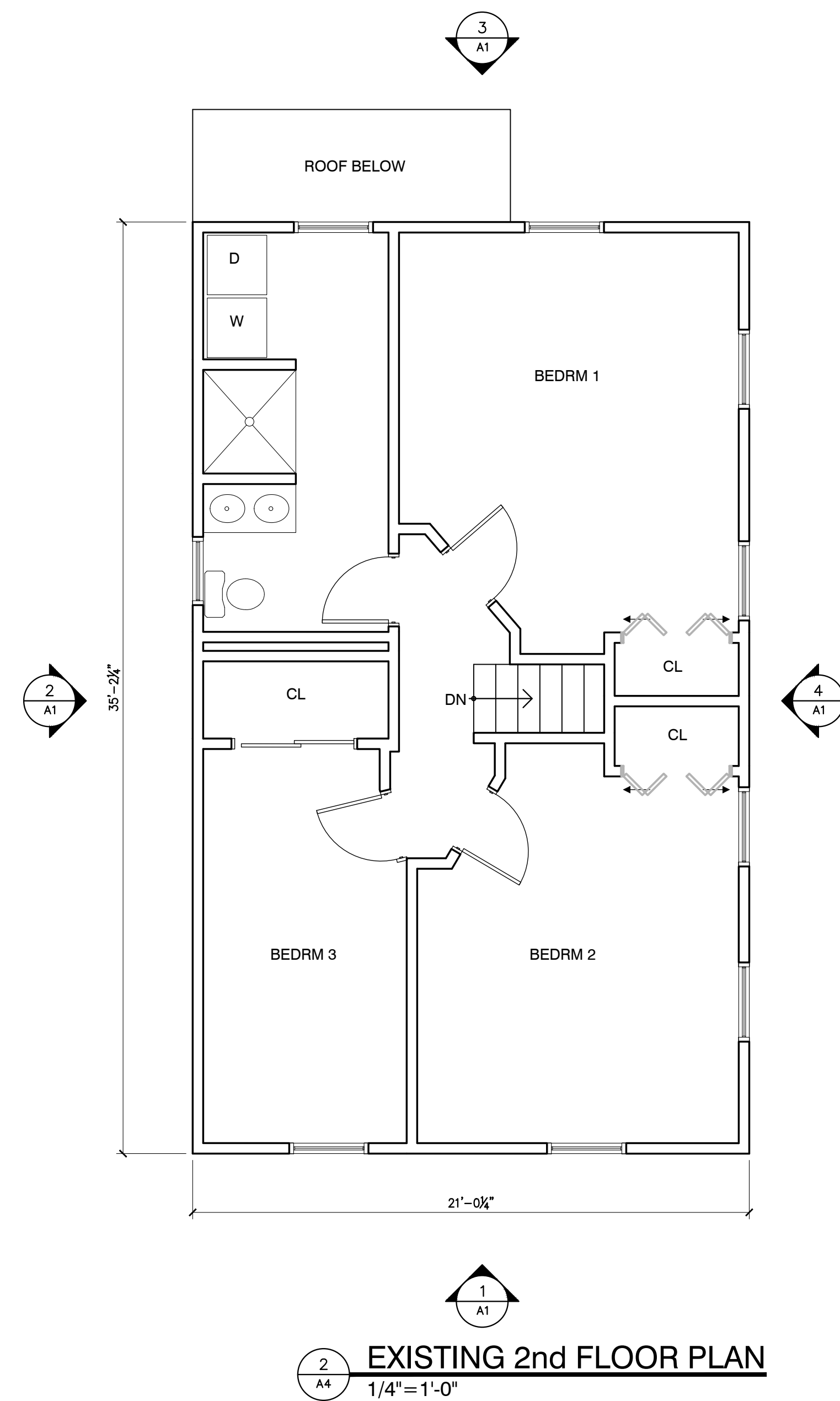
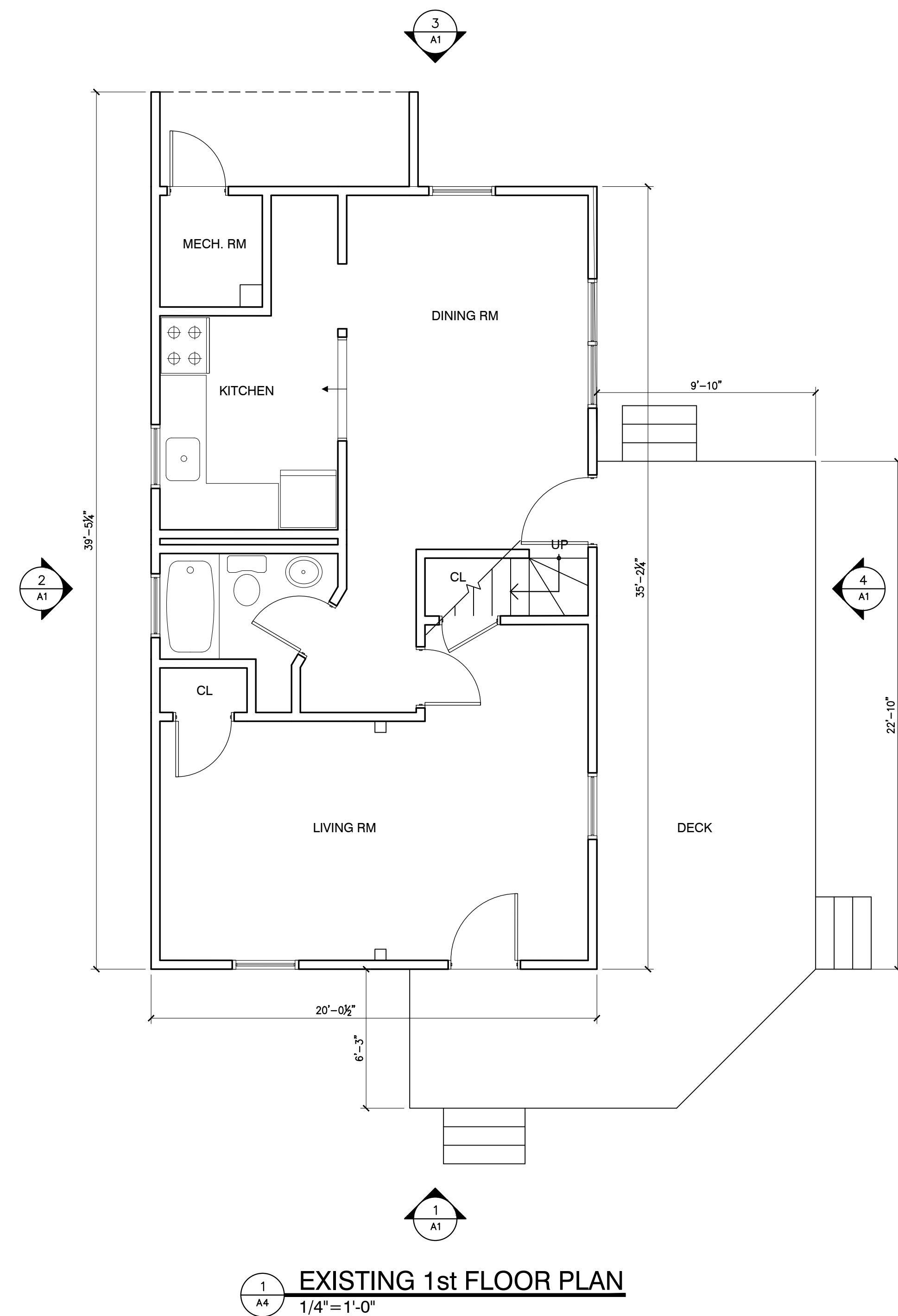
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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED EXTERIOR NORTH & EAST ELEVATIONS

REVISIONS:

PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:
A3



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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS

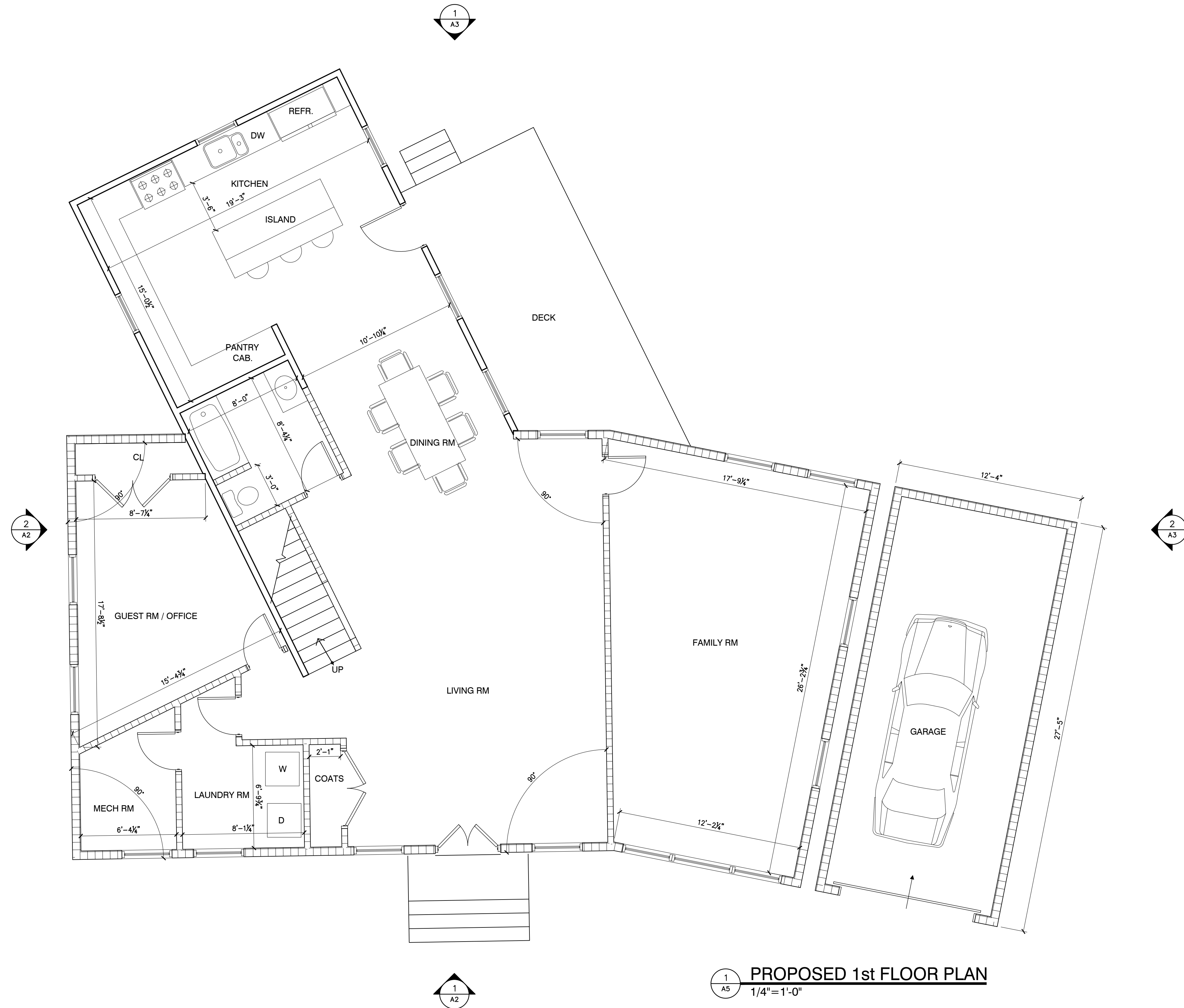
EXISTING FLOOR PLANS

REVISIONS:

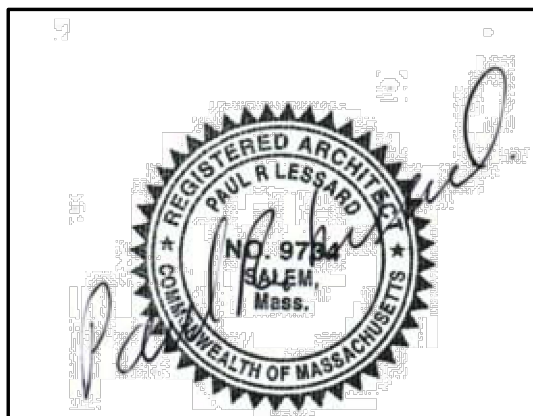
PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A4



1
A5
PROPOSED 1st FLOOR PLAN
1/4" = 1'-0"



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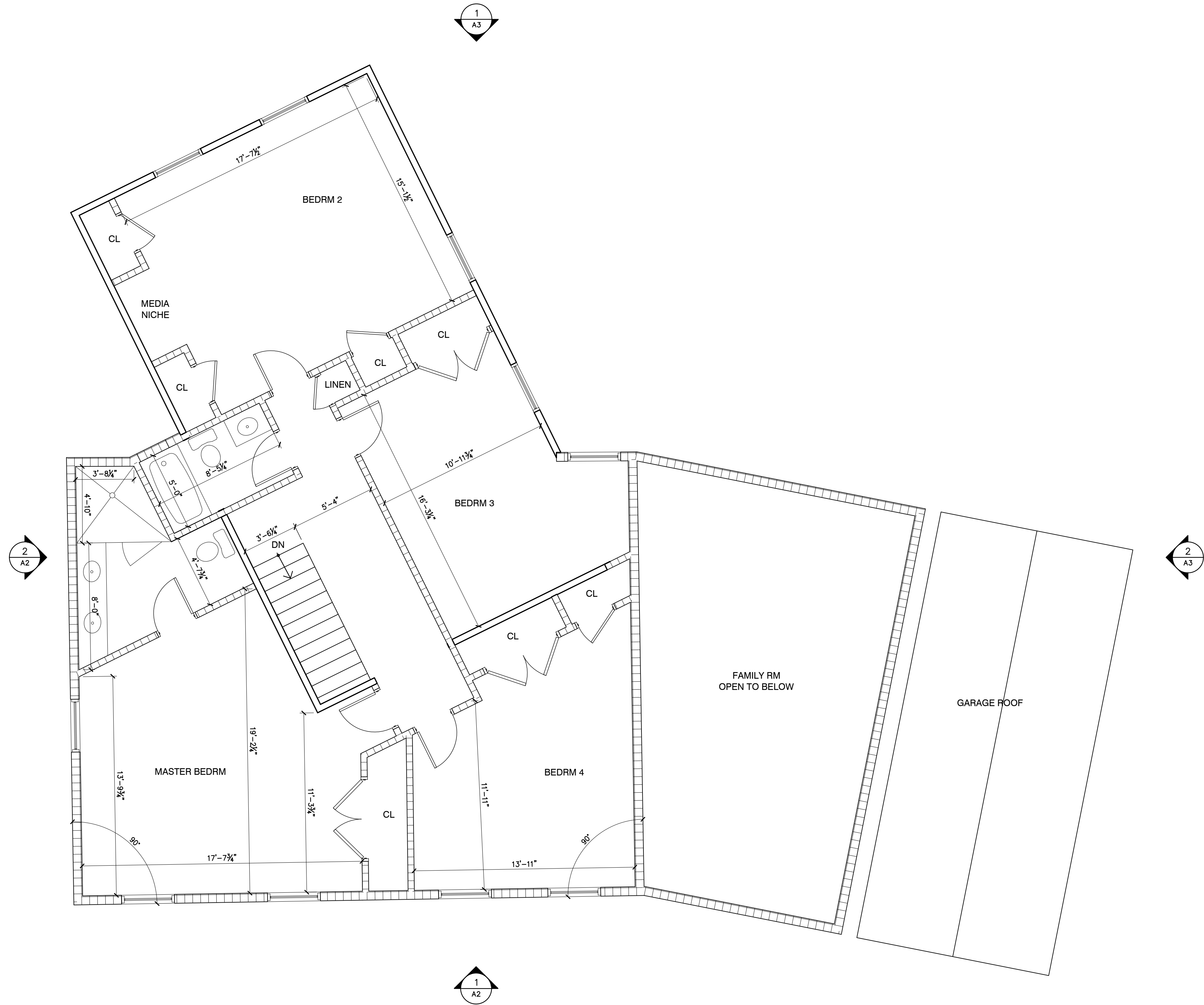
HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED 1st FLOOR PLAN

REVISIONS:

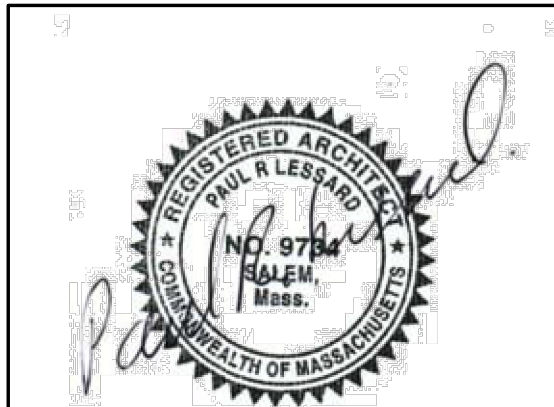
PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A5



1
A6
PROPOSED 2nd FLOOR PLAN
1/4" = 1'-0"



HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS

PROPOSED 2nd FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
DATE: 9/24/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A6

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To Whom It May Concern,

We are writing concerning the proposed "addition" to 39 Woodside Ln. We are the owners and residents of 46 Woodside Ln and are unable to attend tonight's meeting. We feel that the proposed plan to expand the structure at 39 Woodside Ln will create a structure that is too large for this neighborhood and will contribute to the unaffordable real estate market already prevalent here in Arlington. We object to moving forward with the proposal as it currently stands.

Sincerely,
Leora Zimmer and Julia Keller



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Marisa Lau, Senior Planner, Dept. of Planning and Community Development
Date: 9/27/2022
RE: Docket 3715 – 39 Woodside Lane; Special Permit under Zoning Bylaw 5.4.2.B(6) Districts and Uses (Large Additions)

The applicant, AC General Contracting, seeks a Special Permit in accordance with Section 5.4.2.B(6) Districts and Uses (Large Additions) of the Zoning Bylaw. The applicant seeks to construct a two-story addition in the front and side yards of a single-family home for additional living space. The addition would increase the total square footage from 1,780 SF to 4,145 SF (+2,365 SF or a 133% increase over the existing structure). Under the proposal the lot coverage would increase from 11.5% to 26.8% (+15.3%).

The existing structure is in the R1 Zoning District and is nonconforming with the Zoning Bylaw's rear yard and usable open space requirements. A nonconforming detached garage located in the front and right side yard of the property will remain. The proposed addition would extend the building footprint 13.1 feet into the front yard, 3.2 feet into the left side yard, and 21.8 feet into the right side yard. The addition would not increase any nonconformities of the existing structure.

The application states the proposal would increase the gross floor area of the attic to 769 SF (+431 SF). Per the definition of a half story in Section 2 (Definitions) of the Zoning Bylaw, "less than one half of the floor area measured from the underside of the roof framing to the finished floor below has a clear height of 7 feet 0 inches or more." It is unclear based on the materials submitted by the applicant whether a half story is proposed and if so, whether the dimensions of the finished floor area would comply with this definition.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R1 zoning district.

Criterion #2: Public Convenience/Welfare

This proposal would provide additional living space. The Board can find that this condition is met.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety. The Board can find that this condition is met.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems. The Board can find that this condition is met.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

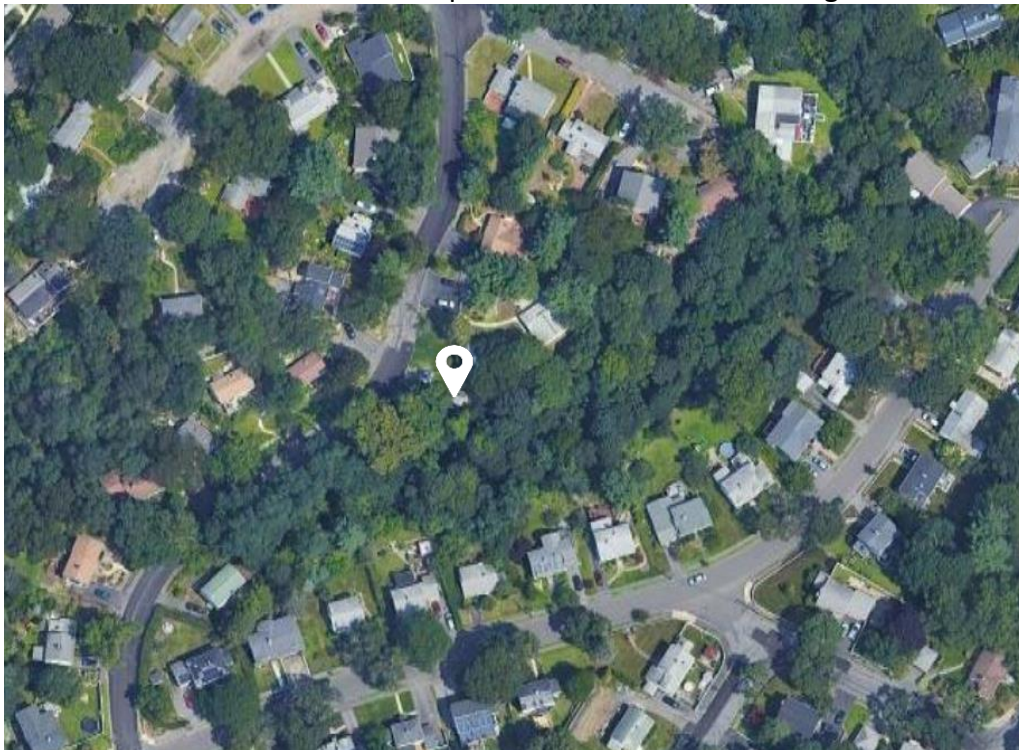
Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

Homes in the vicinity of the property include a range of architectural styles, typically Colonial/Ranch styles and smaller typologies like Capes. The addition is designed to complement the scale of the existing structure as well as the style of adjacent homes in the neighborhood. Although the proposal does not interrupt the existing streetscape pattern, the applicant is encouraged to explore the potential to adjust the exterior composition of the front façade including window placement.¹ Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses.

Below are aerial and street-based photos of the current building:



¹ Residential Design Guidelines, Principles A-1, A-2, B-1, B-2, B-3 and C-1
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Summary of Analysis:

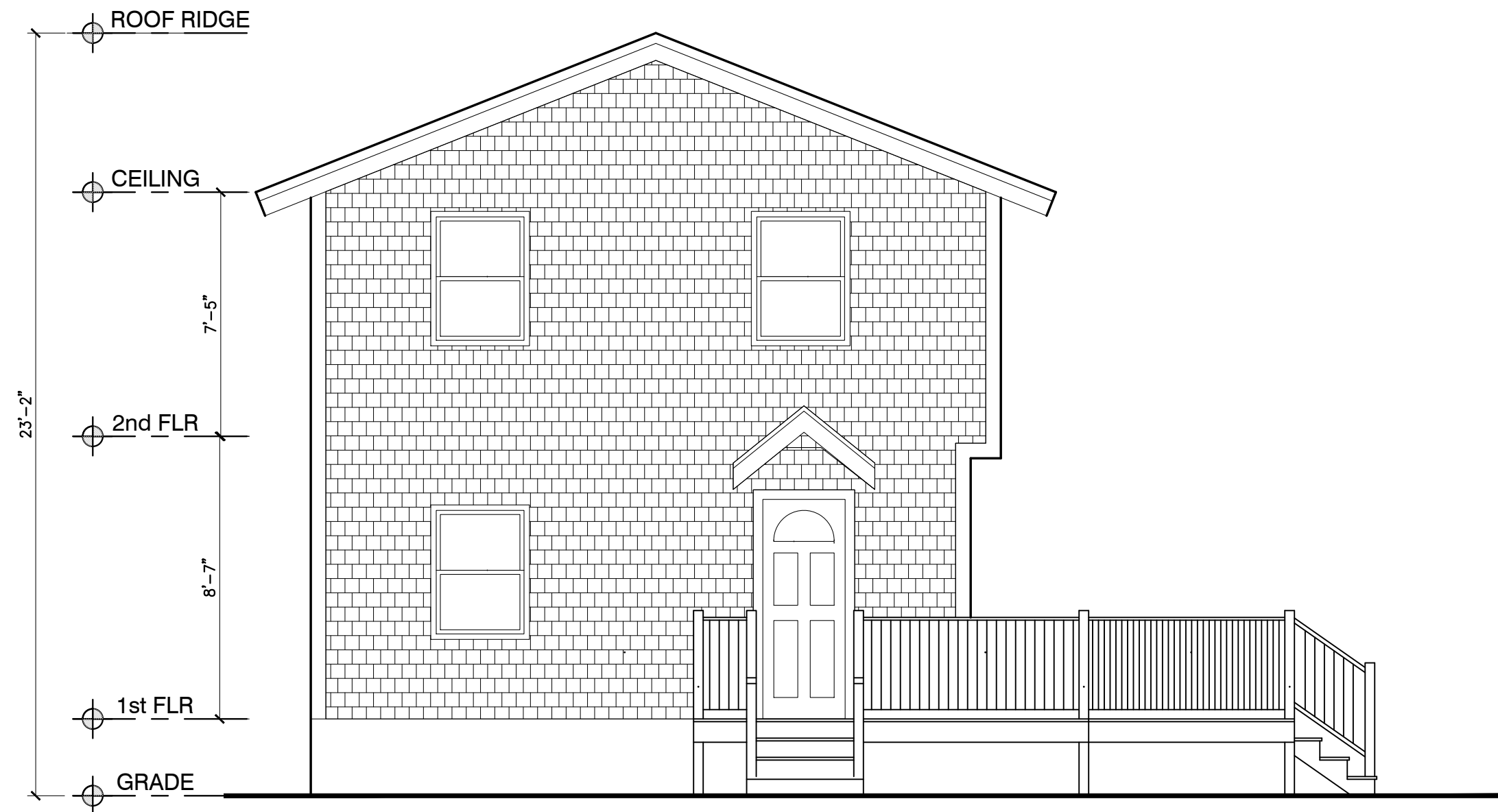
If the proposal is compliant with the definition of a half story, the Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Special Permit criteria in Section 3.3.3, A through G, of the Zoning Bylaw.

Recommendation:

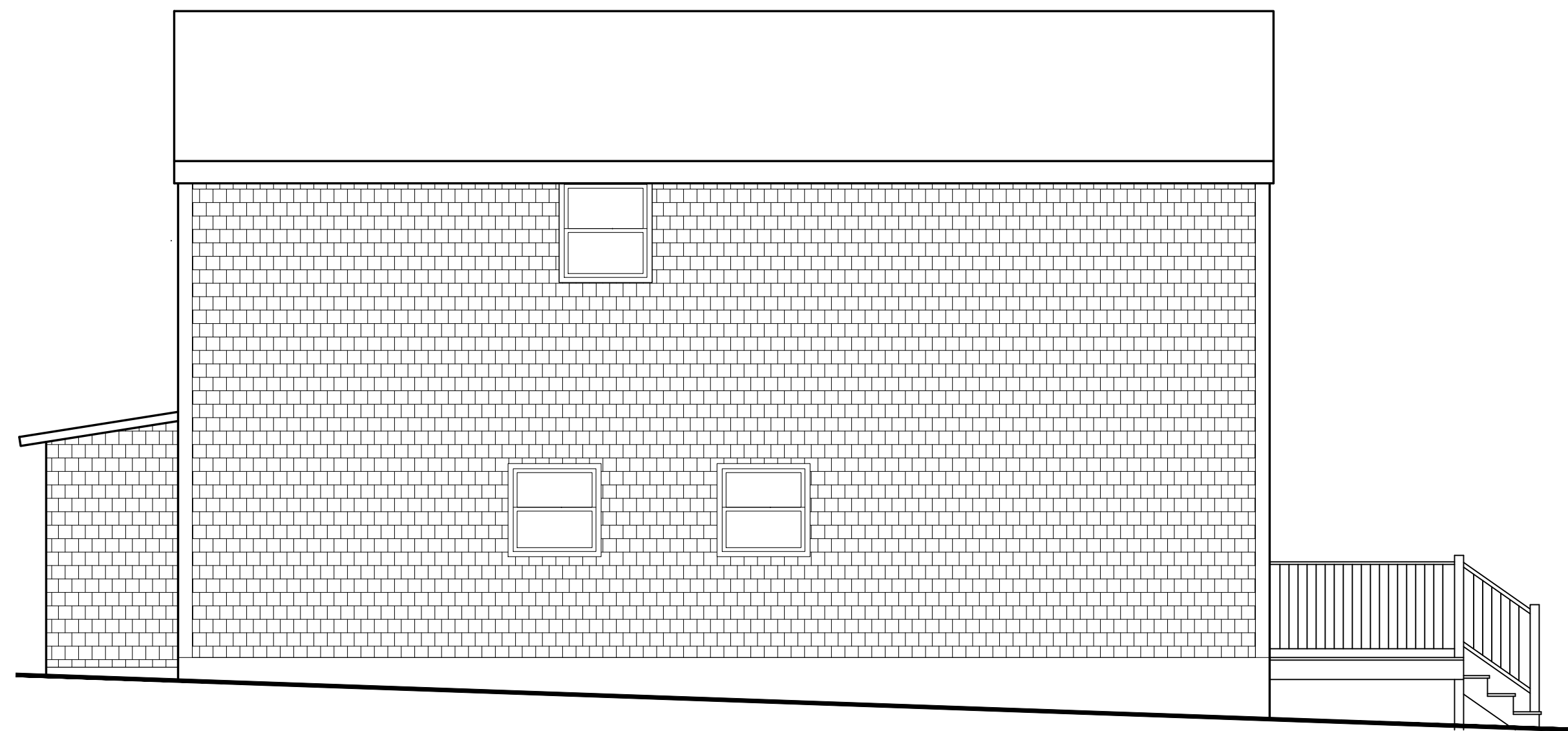
DPCD recommends that the Zoning Board of Appeals (ZBA) requests that the applicant provide attic floor plans to clarify dimensions of the finished floor area and side elevations.

Related Dockets:

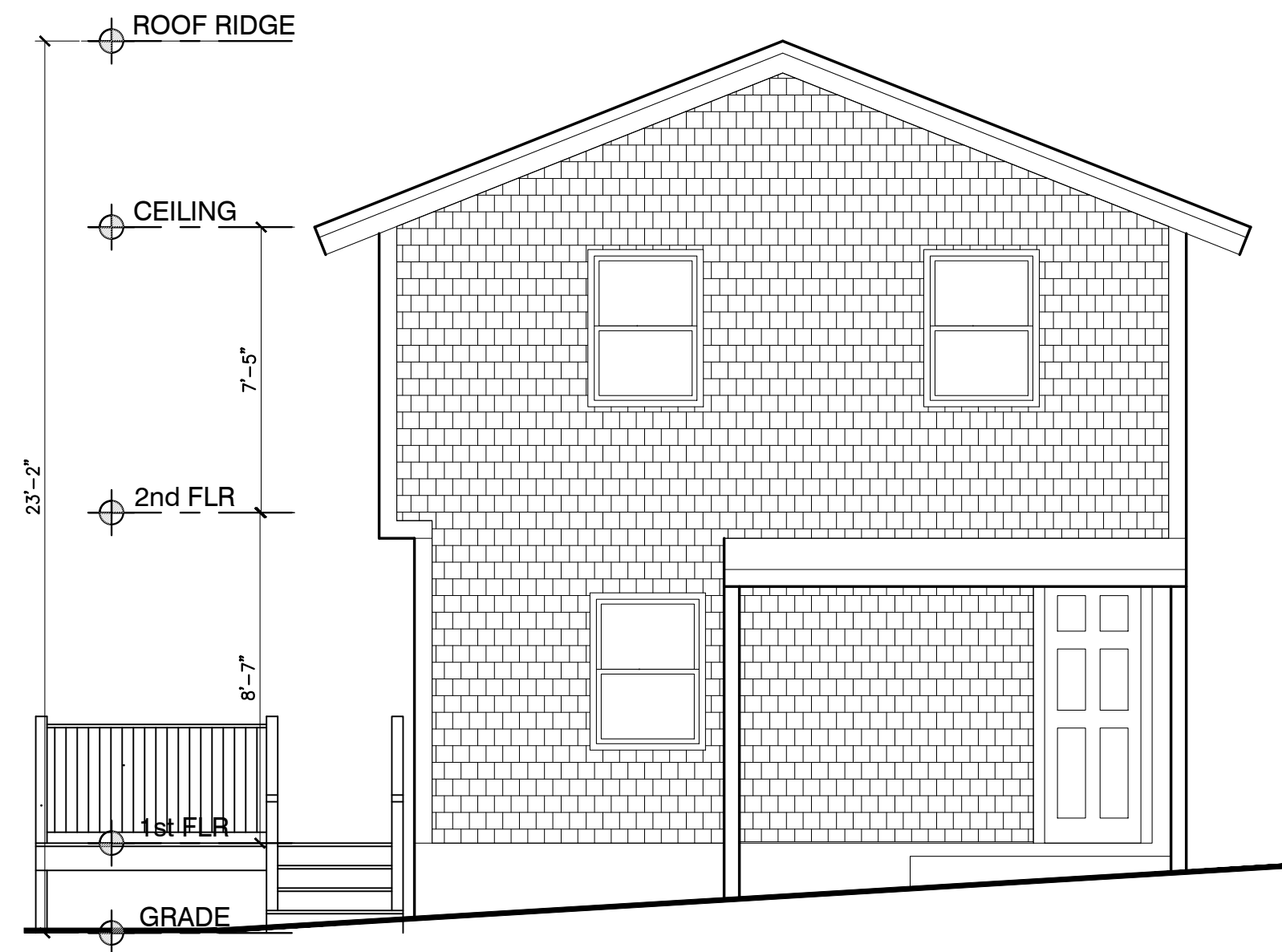
- #3709: 49 Valentine Rd – Applicant sought a special permit to create a large addition of 882 square feet to their single family home for additional living space. Approved 8/30/22.
- #3699: 68 Brantwood Rd – Applicant sought a special permit to create a large addition of 2,028 square feet to their single-family home citing a desire to update and modernize their childhood home for their family. Approved 6/14/22.
- #3688: 44 Edmund Rd – Applicant sought a special permit to create a large addition of 776 square feet to their single-family home citing a desire to make it more comfortable for a growing family. Approved 5/24/22.
- #3686: 238 Park Ave – Applicant sought a special permit to create a large addition of 809 square feet to their single-family home for additional living space and to replace an existing detached garage with a larger structure. Approved 1/25/22.



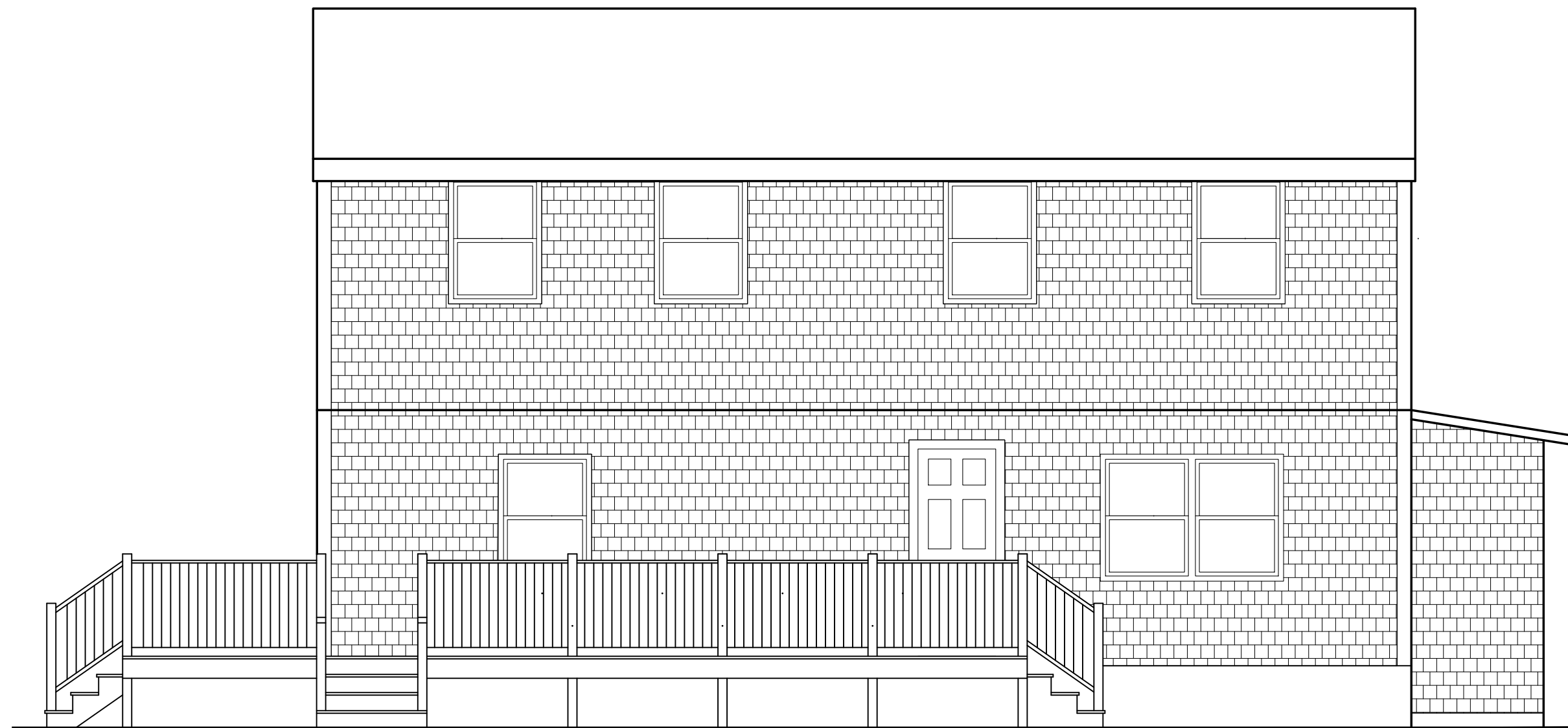
1
A1
EXISTING EAST (FRONT) ELEVATION
1/4"=1'-0"



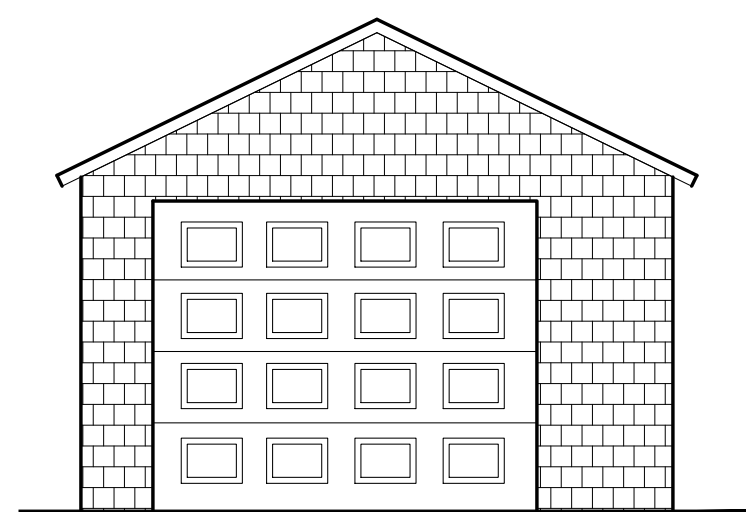
2
A1
EXISTING SOUTH ELEVATION
1/4"=1'-0"



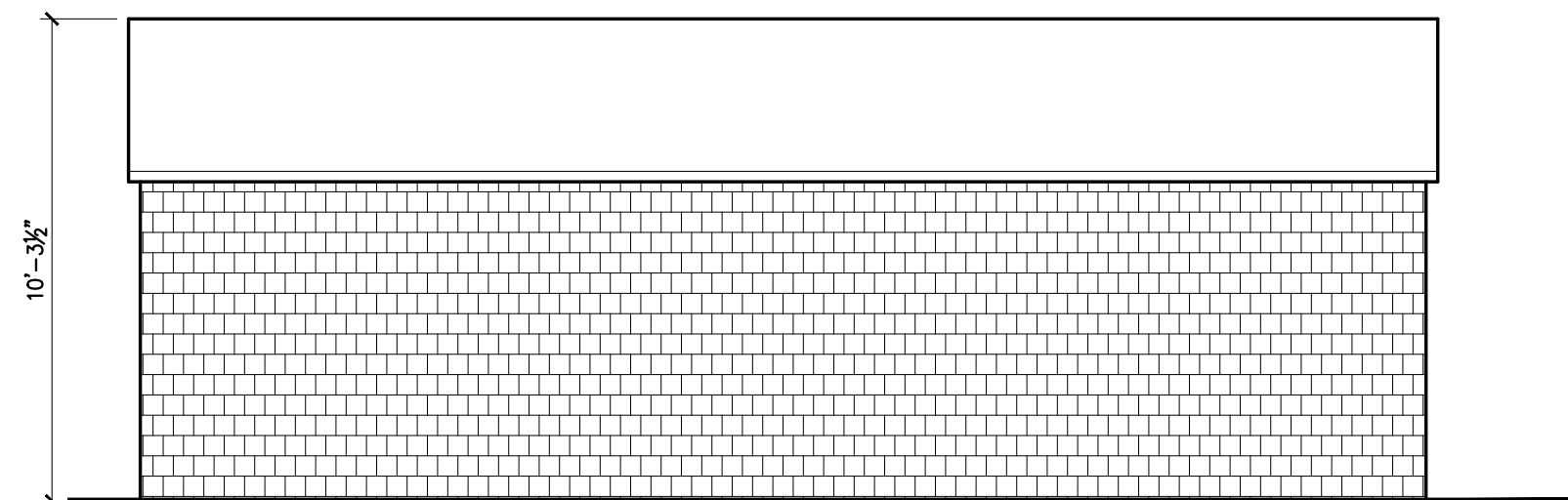
3
A1
EXISTING WEST (REAR) ELEVATION
1/4"=1'-0"



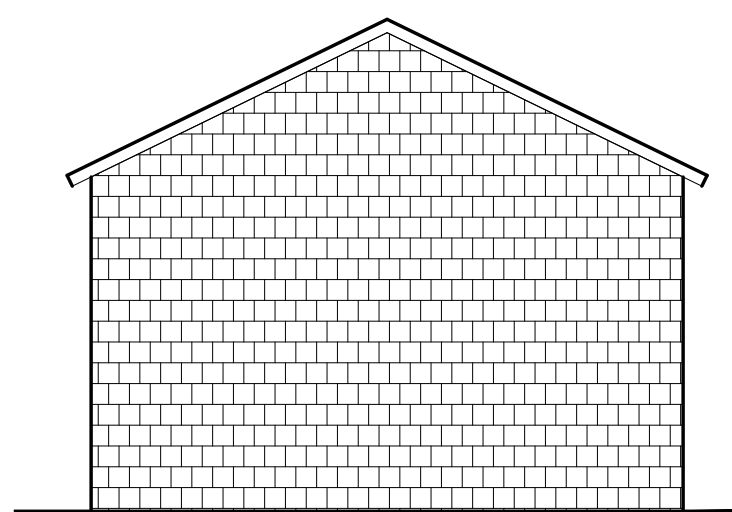
4
A1
EXISTING NORTH ELEVATION
1/4"=1'-0"



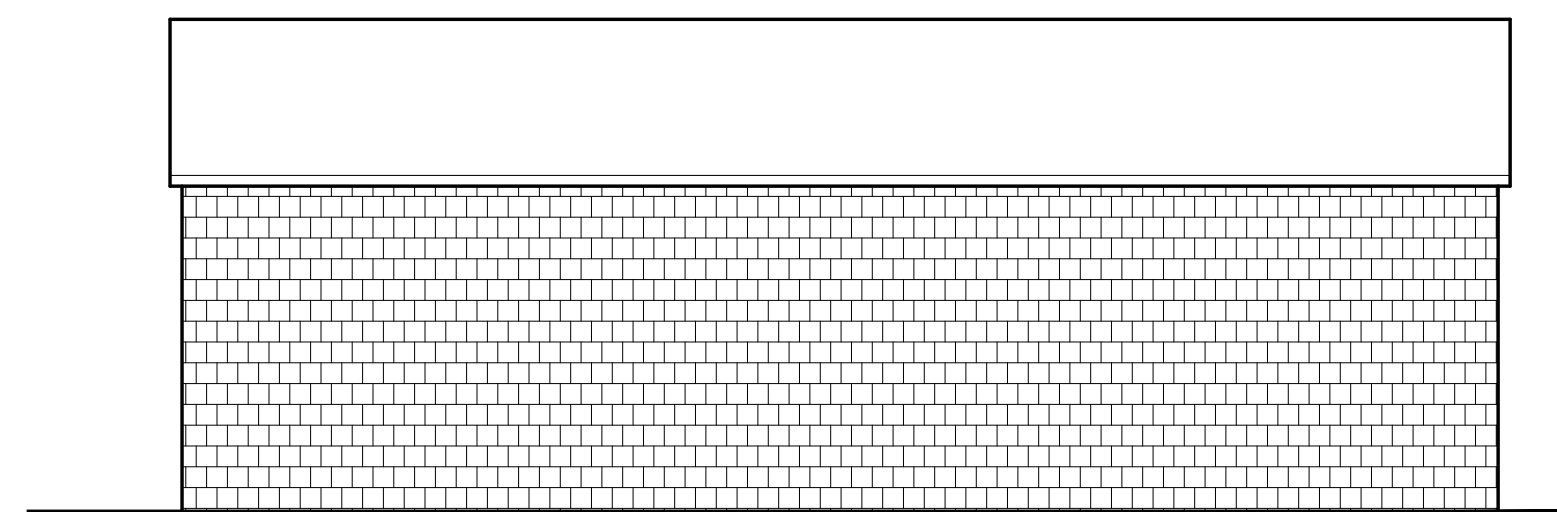
5
A1
EXISTING GARAGE EAST (FRONT) ELEV.
1/4"=1'-0"



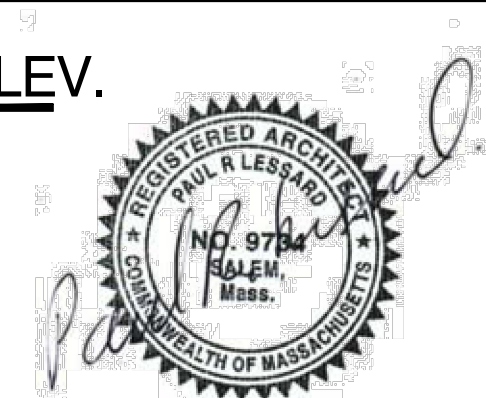
6
A1
EXISTING GARAGE SOUTH ELEV.
1/4"=1'-0"



7
A1
EXISTING GARAGE WEST ELEV.
1/4"=1'-0"



8
A1
EXISTING GARAGE NORTH ELEV.
1/4"=1'-0"



PAUL R. LESSARD
• REGISTERED ARCHITECT •
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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
EXISTING EXTERIOR ELEVATIONS

REVISIONS:

PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

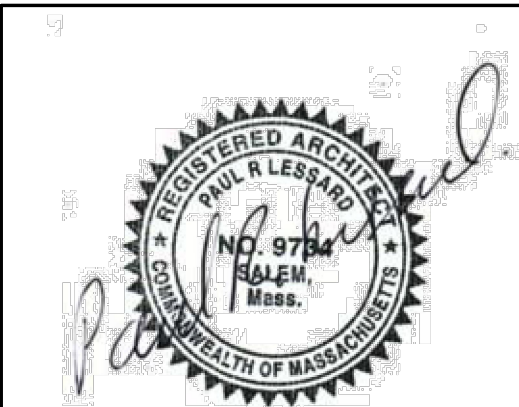
A1



1
A2
PROPOSED EAST (FRONT) ELEVATION
1/4"=1'-0"



2
A2
PROPOSED SOUTH ELEVATION
1/4"=1'-0"



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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED EXTERIOR SOUTH & WEST ELEVATIONS

REVISIONS:

PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

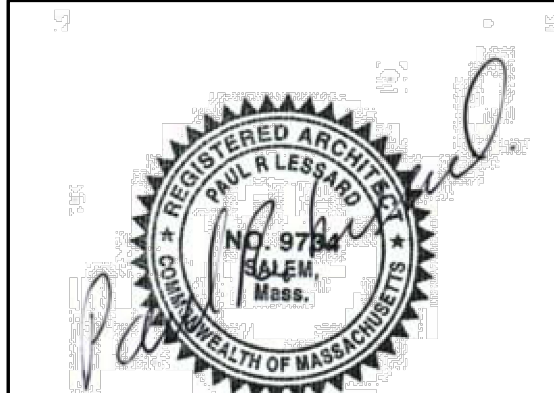
A2



1
A3
PROPOSED WEST (REAR) ELEVATION
1/4"=1'-0"



2
A3
PROPOSED NORTH ELEVATION
1/4"=1'-0"



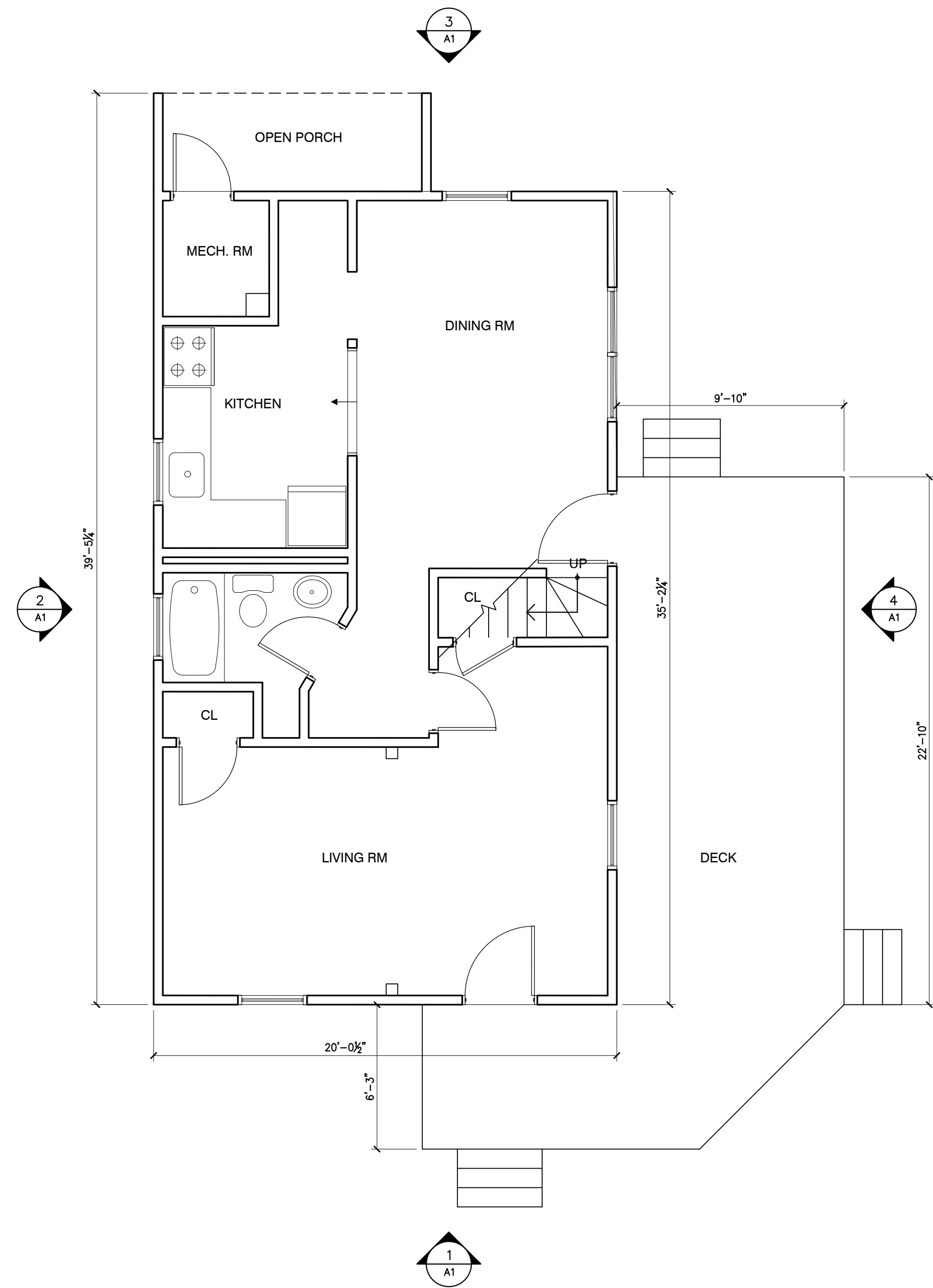
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HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED EXTERIOR NORTH & EAST ELEVATIONS

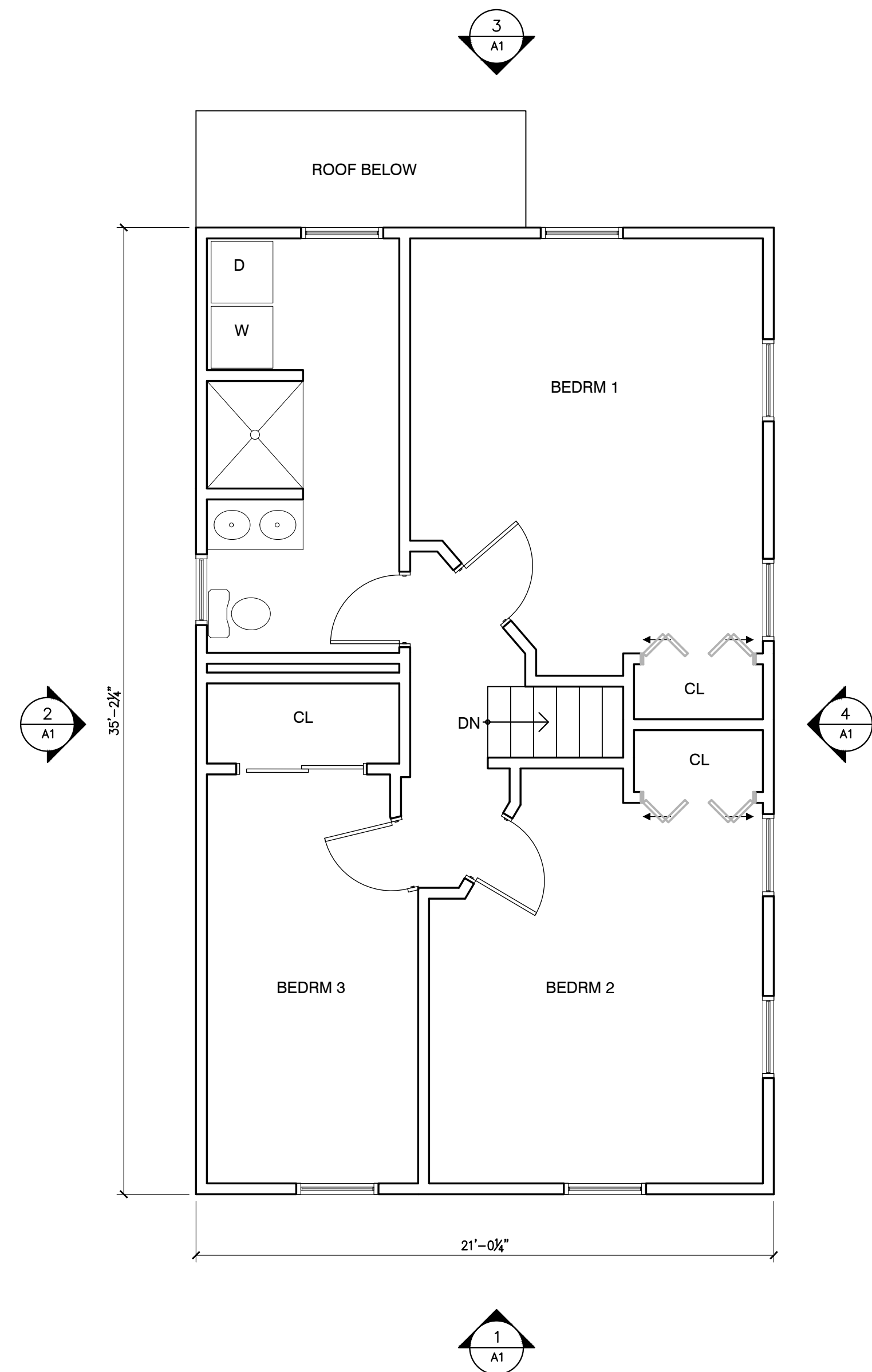
REVISIONS:

PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
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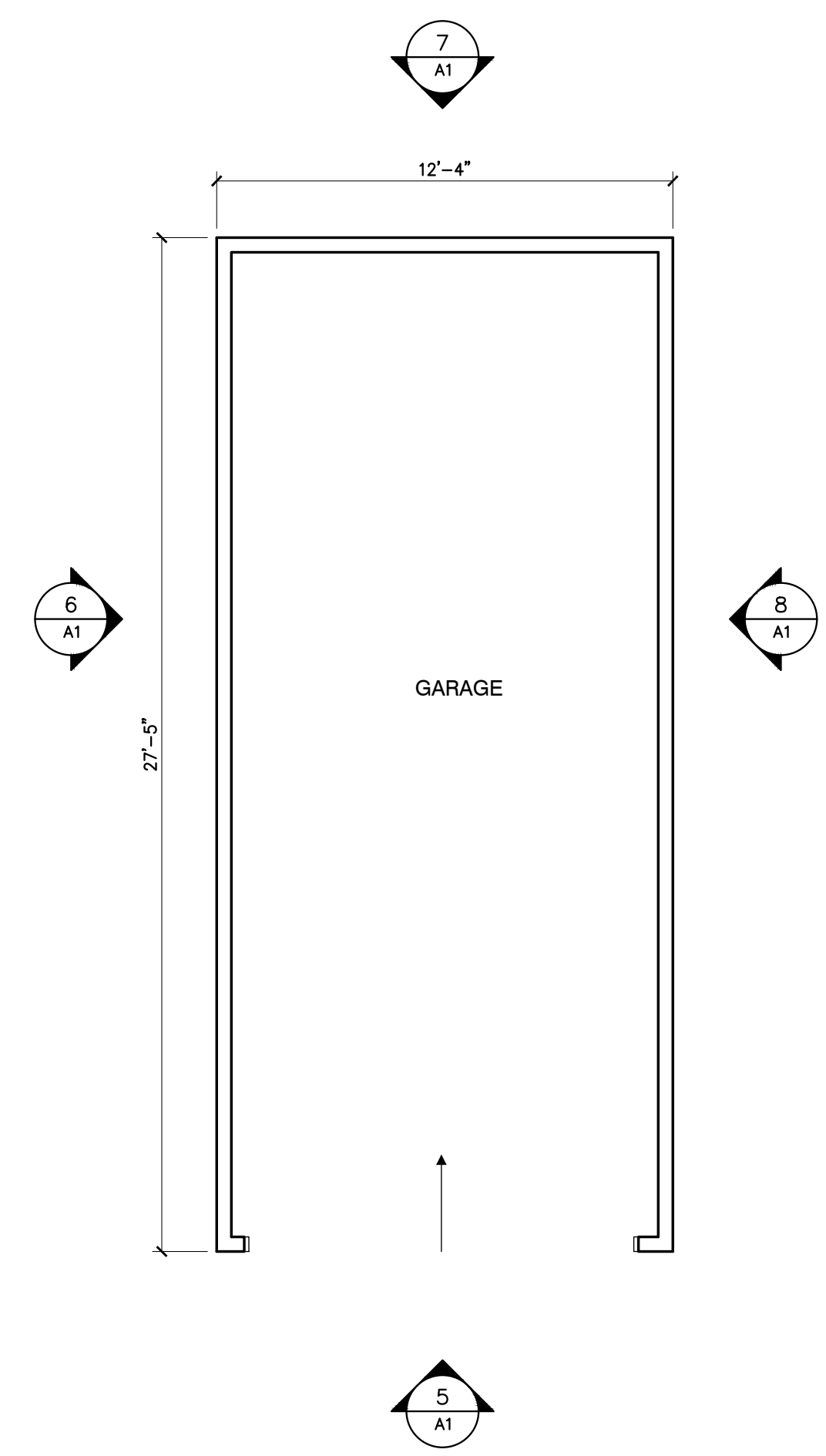
DRAWING NUMBER:
A3



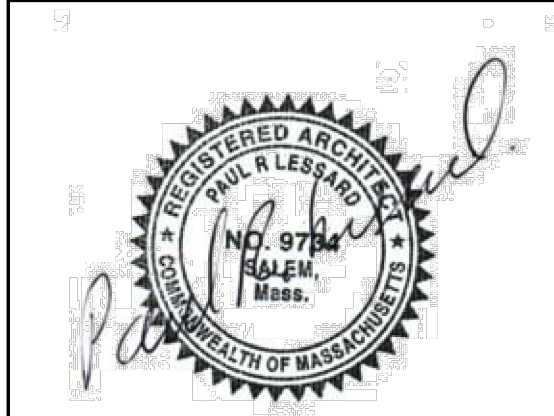
1
A4
EXISTING 1st FLOOR PLAN
1/4"=1'-0"



2
A4
EXISTING 2nd FLOOR PLAN
1/4"=1'-0"



3
A4
EXISTING GARAGE FLOOR PLAN
1/4"=1'-0"



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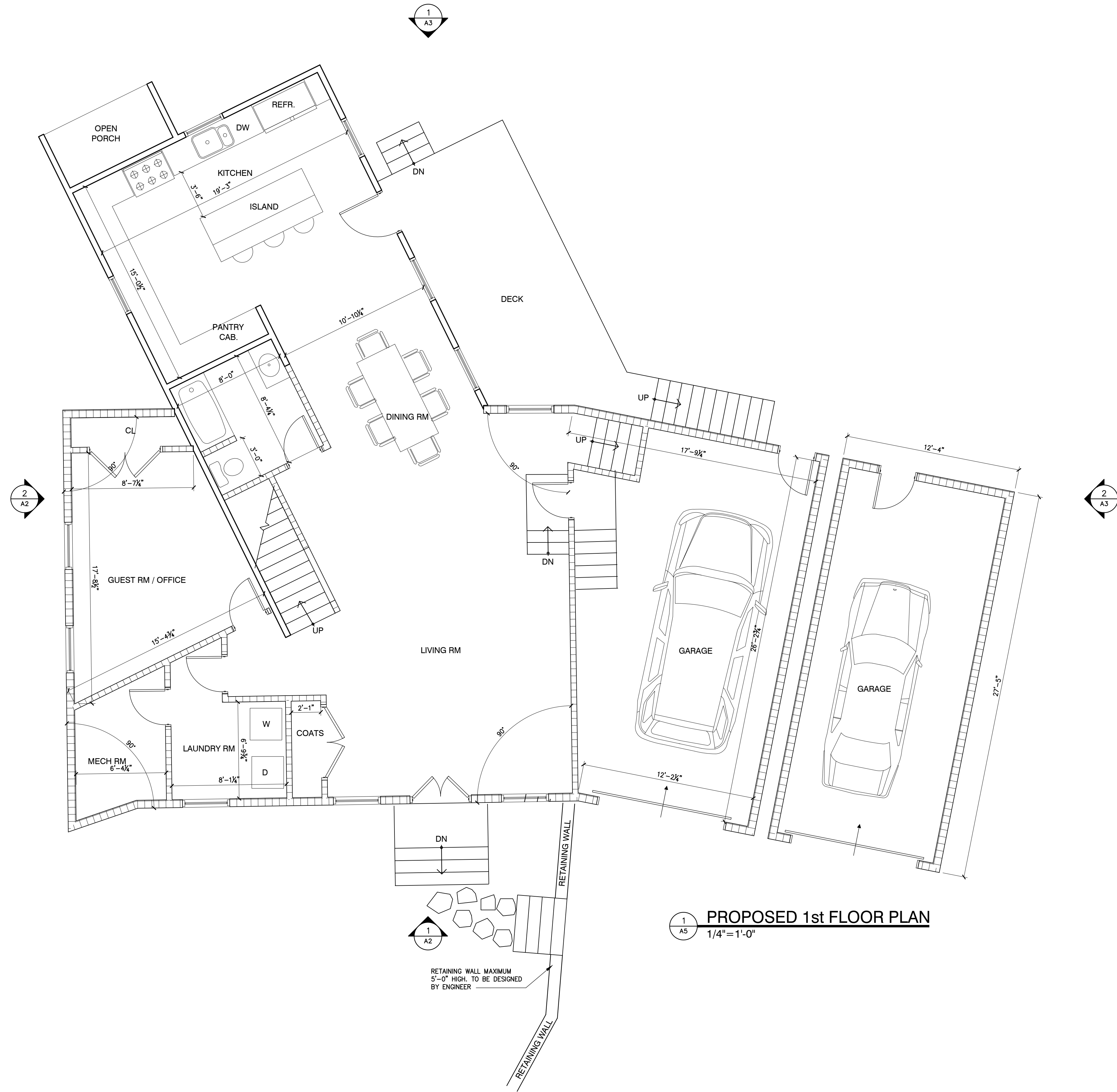
HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
EXISTING FLOOR PLANS

REVISIONS:

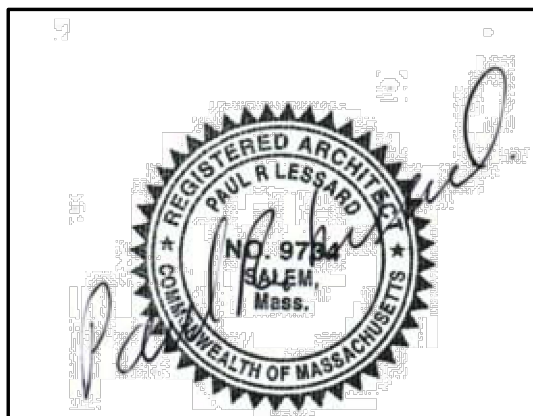
PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A4



1
A5
PROPOSED 1st FLOOR PLAN
1/4" = 1'-0"



PAUL R. LESSARD
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paul@paularchitect.com
(978) 210-1960

HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED 1st FLOOR PLAN

REVISIONS:

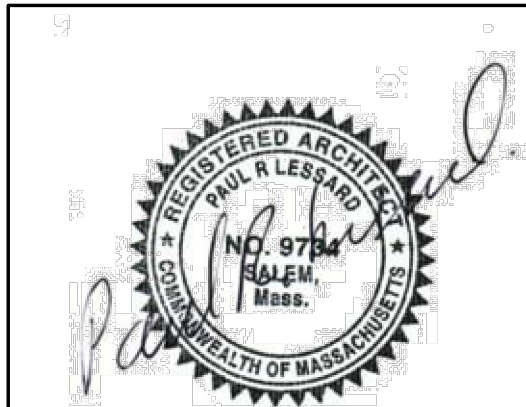
PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:

A5



1
A6
PROPOSED 2nd FLOOR PLAN
1/4" = 1'-0"



PAUL R. LESSARD
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(978) 210-1960 paul@paularchitect.com

HOUSE ADDITION
39 WOODSIDE LANE
ARLINGTON, MASSACHUSETTS
PROPOSED 2nd FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
DATE: 10/20/22
SCALE: AS NOTED
DRAWN: PRL
CHECK:

DRAWING NUMBER:
A6

39 WOODSIDE LANE TREE PLAN

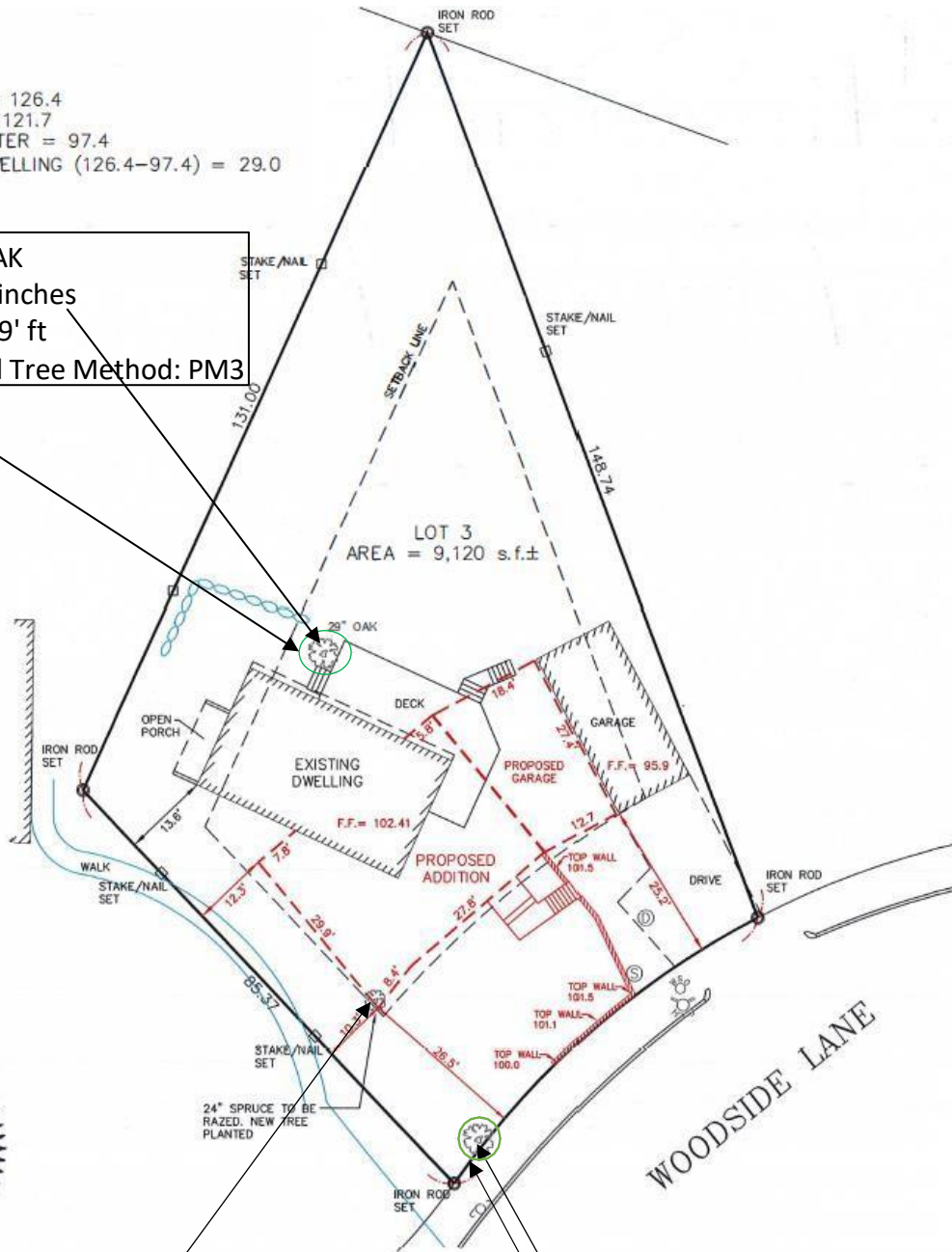
ROOF PEAK = 126.4
 ROOF DRIP = 121.7
 AVG TOP GUTTER = 97.4
 HEIGHT OF DWELLING (126.4-97.4) = 29.0

WHITE OAK
 DBH: 29" inches
 CRZ: r = 29' ft
 Protected Tree Method: PM3

AESTHETIC PURPOSES
 NOT LOCATION.

AND IS NOT A
 PARTSHIP OF
 THIS PLAN MAY
 IMPLIED OR

BASED WERE
 THE LINES OF LAND
 PLAN AND
 THE ABOVE
 FOR CONVEYANCE



NORWAY SPRUCE
 DBH: 24"
 BYLAW NOT APPLICABLE.
 NEW TREE TO BE REPLANTED
 IN PLACE OF CONER TREE AT
 FRONT OF HOME.

DBH: 7"
 CRZ: r = 7 ft
 DEAD APPLE TREE. NEW TREE TO BE REPLANTED
 IN PLACE OF DEAD TREE AT FRONT OF HOME.

LEGEND

CRZ= CRITICAL ROOT ZONE

DBH = DIAMETER AT BREAST HEIGHT

PM = PROTECTION METHOD

SITE ADDRESS: 39 WOODSIDE LANE
CONTRACTOR: AC GENERAL CONTRACTING
SURVEYOR: MEDFORD ENGINEERING &

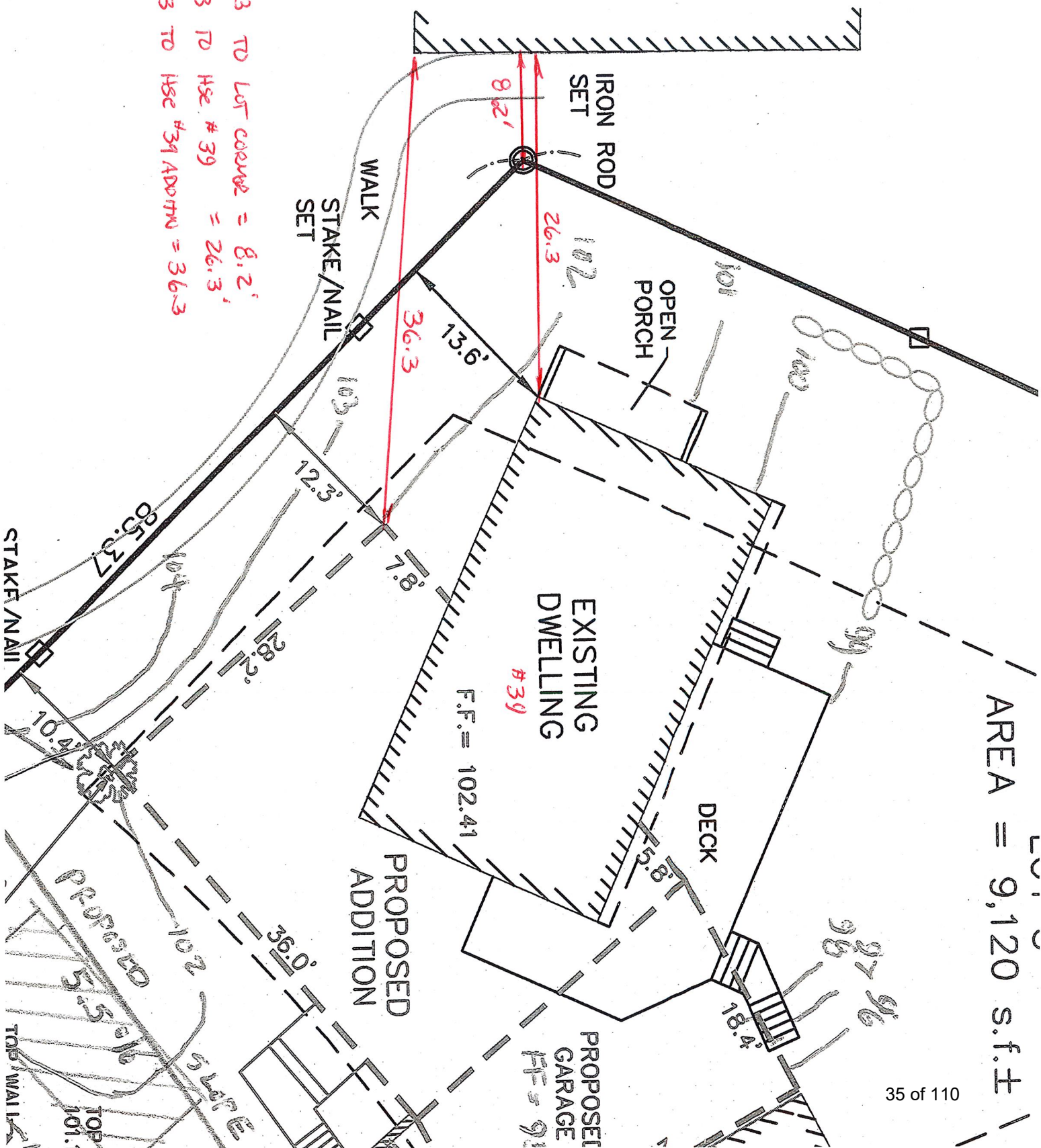
AREA = 9,120 s.f. ±

T A
MAY

437

AND

ANCE



MEDFORD ENGINEERING & SURVEY

LAND SURVEYORS

15 HALL STREET, MEDFORD, MA 02155
PHONE: 781-396-4466 FAX: 781-396-8052
EMAIL: chuck@medfordsurvey.com

October 05, 2022

Property Location: 39 Woodside Lane, Arlington

The following is an explanation of the revised calculated existing and proposed usable open space areas for 39 Woodside Lane.

After going back to the site and performing a detailed topo survey of the area between the existing dwelling and the street line at Woodside Lane, we determined that we could not find any area that is at least 20' in all directions with a slope of under 8%, giving a net usable open space area of 0 s.f. and a usable open space % of 0.

I was then asked to use the revised floor plans, showing an additional garage on the right front corner of the addition and connect the existing driveway to the new garage. To do this, I needed to add a retaining wall along the left side of the new edge of driveway, from the new garage to the street line of Woodside Lane. The resulting change in elevations from the top of the wall to the left property line, would yield a net slope of 5.5% and a usable open space area of 1,190 s.f. and a usable open space % of 35.2%.

The wall will need to be designed by a Structural Engineer and approved by the Town of Arlington Engineering Department.

Sincerely,

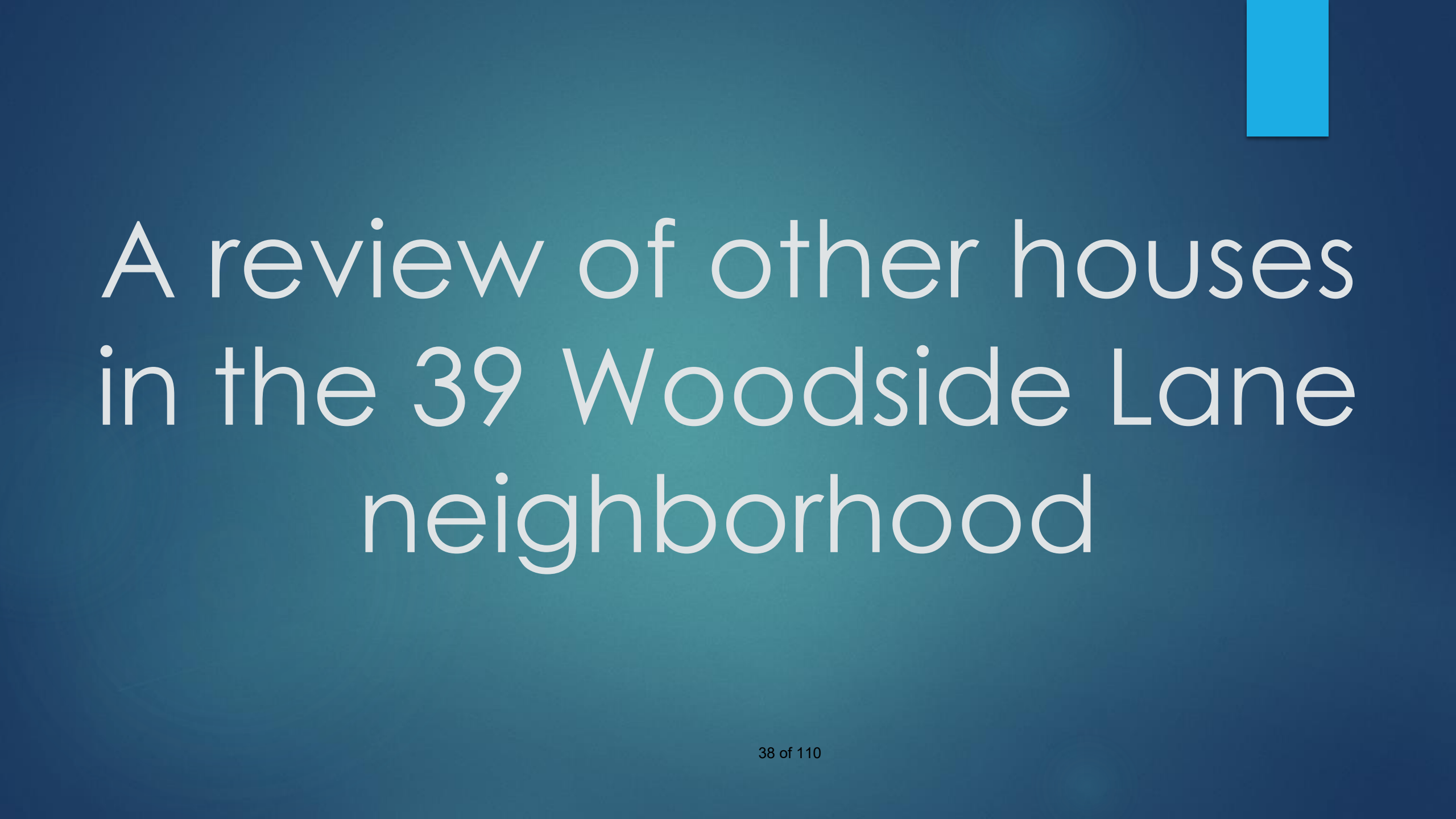


Richard J. Mede Jr. P.L.S.
Medford Engineering and Survey

is utilized for loading or unloading.

5.3.22. Gross Floor Area

- A. For the purposes of this bylaw, the following areas of buildings are to be included in the calculation of Gross Floor Area:
- (1) Elevator shafts and stairwells on each floor;
 - (2) Attic areas with headroom, measured from subfloor to the bottom of the roof structure, of seven feet, except as excluded in (4) below;
 - (3) Interior mezzanines;
 - (4) Penthouses;
 - (5) Basement areas except as excluded in (2) below;
 - (6) Cellars in residential uses;
 - (7) All-weather habitable porches and balconies; and
 - (8) Parking garages except as excluded in (1) below.
- B. For the purposes of this bylaw, the follow areas of buildings are to be excluded from the calculation of Gross Floor Area:
- (1) Areas used for accessory parking, or off-street loading purposes;
 - (2) Basement areas devoted exclusively to mechanical uses accessory to the operation of the building;
 - (3) Open or lattice enclosed exterior fire escapes;
 - (4) Attic and other areas used for elevator machinery or mechanical equipment accessory to the operation of the building; and
 - (5) Unenclosed porches, balconies, and decks.
- C. For the purposes of this bylaw, the district dimensional requirements for Usable Open Space and Landscaped Open Space are calculated based on Gross Floor Area.



A review of other houses in the 39 Woodside Lane neighborhood

21 Neighboring Homes to 39 Woodside Lane

All of the residential addresses below are within 1 mile from 39 Woodside Lane

Definition of "Neighborhood Area": *Neighborhood area means within **one mile** of the residential real property.*

<u>Address:</u>	<u>Sq ft per the MLS</u>		<u>Proximity to 39 Woodside Lane</u>
54 Yerxa Road	4,173	SF	.8 mile
41 Yerxa Road	4,072	SF	.9 mile
61 Woodside Lane	4,700	SF	450 feet - Same Street
163 Woodside Lane	3,002	SF	.3 mile - Same Street
85 Woodside Lane	2,900	SF	800 feet - Same Street
102 Woodside Lane	2,800	SF	1,056 feet - Same Street
106 Woodside Lane	3,824	SF	1,056 feet - Same Street
138 Woodside Lane	2,922	SF	1,584 feet - Same Street
88 Woodside Lane	3,528	SF	900 feet - Same Street
9 Hazel Terrace	3,274	SF	600 feet
1 Hazel Terrace	2,050	SF	450 feet
26 Oak hill Drive	2,385	SF	600 feet
34 Oak hill Drive	3,276	SF	600 feet
2 Blueberry Hill Lane	3,702	SF	.6 mile
66 Ridge Street	5,238	SF	.3 mile
248 Ridge Street	5,000	SF	.8 mile
239 Ridge Street	4,429	SF	.8 mile
59 Old Mystic Street	4,285	SF	.9 mile
95 College Ave	3,550	SF	.6 mile
72 College Ave	5,025	SF	.6 mile
49 Columbia Road	4,215	SF	.6 mile
AVERAGE SQUARE FEET PER LIST ABOVE:	3,731	SF ^{29 of 110}	
39 WOODSIDE LANE PROPOSED SF:	3,376	SF	

AVERAGE SQUARE FEET PER LIST ABOVE:	3,731	SF
39 WOODSIDE LANE PROPOSED SF:	3,376	SF

61
WOODSIDE LN



4,700 SF



88

WOODSIDE LN

3,528 SF



138
WOODSIDE LN

2,992 SF



106
WOODSIDE LN

3,824 SF



68 WOODSIDE LN



9

HAZEL TERRACE

3,274 SF



34
OAK HILL DRIVE

3,276 SF



248 RIDGE STREET

5,000 SF



239
RIDGE STREET

4,429 SF



59

OLD MYSTIC RD

4,285 SF



72
COLLEGE AVENUE

5,025 SF



41
YERXA ROAD

4,072 SF



66 RIDGE STREET



5,238 SF





AVERAGE SQUARE FEET PER LIST ABOVE:	3,731	SF
39 WOODSIDE LANE PROPOSED SF:	3,376	SF

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of 39 WOODSIDE LANE

to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

R-1 ZONING DISTRICT. Applicant seeks a special permit for a large addition - Zoning Bylaw
Section 5.4.2B(6).

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 39 WOODSIDE LANE with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

R-1 ZONING DISTRICT. Applicant seeks a special permit for a large addition - Zoning Bylaw
Section 5.4.2B(6).

E-Mail: steph@acgeneralcontractinginc.com Signed: _____ Date: 08/12/2022

Telephone: 857-888-2134 Address: 188 Sycamore Street, Watertown, MA 02472

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

R-1 Zoning District. Applicant seeks a special permit for a large addition - Zoning Bylaw
Section 5.4.2B(6).

B). Explain why *the requested use is essential or desirable to the public convenience or welfare.*

The requested special permit and the construction/remodeling contemplated will substantially
improve an existing property which is in substantial disrepair. It will enhance the property, the
neighborhood and will result in an increase in assessed valuation.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

We are not adding any additional vehicles to the roadway system.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

We are not adding any additional water or sewer service connections, we are only adding an addition
to an existing single family dwelling.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

No special regulations apply.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The proposed renovations will significantly enhance and improve this property which is in disrepair.

As such, the proposed renovations will positively enhance the neighborhood and are in keeping with the character of the neighborhood. The proposed renovations will not be detrimental to the health or welfare of the neighborhood or the adjoining districts.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposed renovations are to an existing single family home. When completed, the home will remain a single family but will have more adequate living space for a family. The proposed addition will clearly not cause an excess of that particular use nor will it be detrimental to the character of the neighborhood.

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: **139 WOODSIDE LANE** Zoning District: **R-1**

2. Present Use/Occupancy: RESIDENTIAL No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
1,442 Sq. Ft.

4. Proposed Use/Occupancy: RESIDENTIAL No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
3,376 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	9,120 SF	9,120 SF	min. 6,000 SF
7. Frontage (Ft.)	64.27'	64.27'	min. 60'
8. Floor area ratio	.16	.37	max.
9. Lot Coverage (%)	15.8 %	27.7%	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	9,120 SF	9,120 SF	min. 6,000 SF
11. Front Yard Depth (Ft.)	38.3 '	25.2'	min. 25 '
12. Left Side Yard Depth (Ft.)	13.6 '	10.4 '	min. 10 '
13. Right Side Yard Depth (Ft.)	36.6 '	14.8 '	min. 10 '
14. Rear Yard Depth (Ft.)	11.9 '	11.9 '	min. 20 '
15. Height (Stories)	2	2	max. 2.5
16. Height (Ft.)	29 '	28' 10"	max. 35 '
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5,424 SF	4,289 SF	
17A. Landscaped Open Space (% of GFA)	3.76 %	1.27 %	min. 1, 013 SF
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	0 SF	1,190 SF	
18A. Usable Open Space (% of GFA)	0 %	35.2 %	min. 30%
19. Number of Parking Spaces	1	2	min. 2
20. Parking area setbacks (if applicable)	N/A	N/A	min.
21. Number of Loading Spaces (if applicable)	N/A	N/A	min.
22. Type of construction	WOOD	WOOD	N/A
23. Slope of proposed roof(s) (in. per ft.)			min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 139 WOODSIDE LANE

Zoning District: R-1

OPEN SPACE*

	EXISTING	PROPOSED
Total lot area	<u>9,120 SF</u>	<u>9, 120 SF</u>
Open Space, Usable	<u>0 SF</u>	<u>1,190 SF</u>
Open Space, Landscaped	<u>5,424 SF</u>	<u>4,289 SF</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u>0</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>0</u>
1 st Floor	<u>703</u>	<u>1,895</u>
2 nd Floor	<u>739</u>	<u>1,481</u>
3 rd Floor	<u>0</u>	<u>0</u>
4 th Floor	<u>0</u>	<u>0</u>
5 th Floor	<u>0</u>	<u>0</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>0</u>	<u>0</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>0</u>	<u>0</u>
All weather habitable porches and balconies	<u>0</u>	<u>0</u>
Total Gross Floor Area (GFA)	<u>1442</u>	<u>3,376</u>

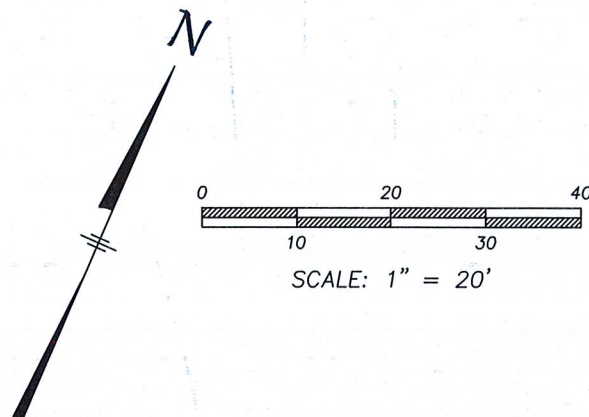
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>5,424 SF</u>	<u>4,289 SF</u>
Landscaped Open Space (% of GFA)	<u>3.76 %</u>	<u>1.27 %</u>
Usable Open Space (Sq. Ft.)	<u>0 SF</u>	<u>1,190 SF</u>
Usable Open Space (% of GFA)	<u>0 %</u>	<u>35.2 %</u>

This worksheet applies to plans dated 10/20/22 designed by PAUL R. LESSARD

Reviewed with Building Inspector: _____ Date: _____



ROOF PEAK = 126.4
ROOF DRIP = 121.7
AVG TOP GUTTER = 97.4
HEIGHT OF DWELLING (126.4-97.4) = 29.0

NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: BETTER HOMES REALTY LLC
TITLE REFERENCE: BK 79628 PG 176
PLAN REFERENCE: BK 7738 END

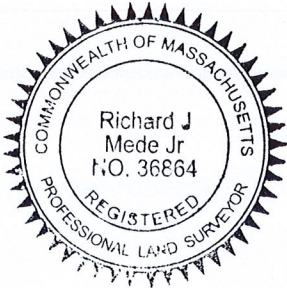
THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

SURVEYOR'S CERTIFICATION:

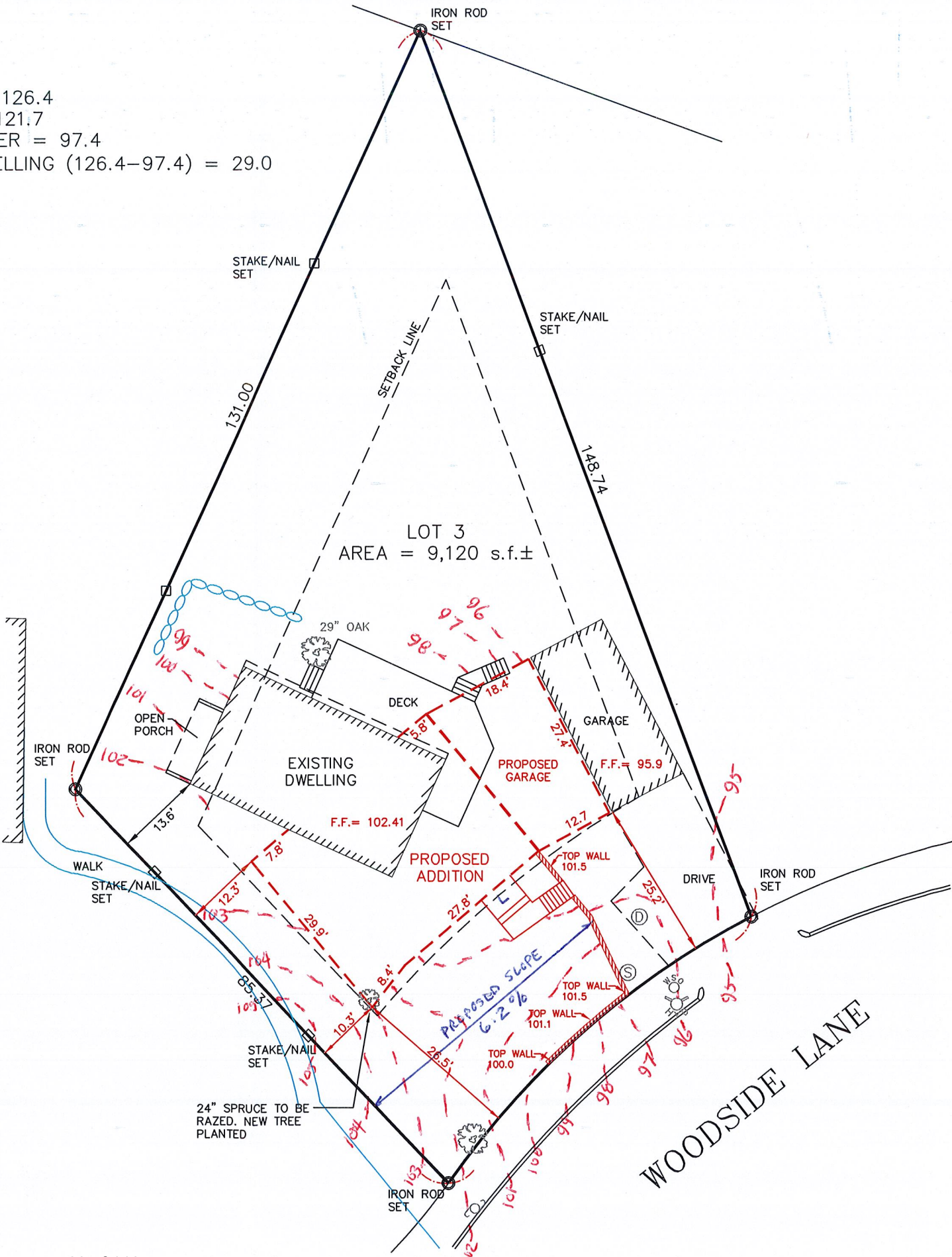
TO: BETTER HOMES REALTY L.L.C.

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: MAY 20, 2022
DATE OF PLAN: MAY 20, 2022
REVISION: MAY 25, 2022 (ELEVATIONS)
REVISION: JUNE 10, 2022 (ADDED ELEV)
REVISION: JULY 21, 2022 (SET PROPERTY)
REVISION: OCTOBER 5, 2022 (ADDED ELEVATIONS & LOCATIONS)



 10/05/2022
RICHARD J. MEDE, JR. P.L.S. DATE:



PROPOSED PLOT PLAN
39 WOODSIDE LANE
ARLINGTON, MA.
(MIDDLESEX COUNTY)

PREPARED BY:

**MEDFORD
ENGINEERING
& SURVEY**



ANGELO B. VENEZIANO ASSOCIATES
15 HALL STREET, MEDFORD, MA 02155
781-396-4466 fax: 781-396-8052

PREPARED FOR:
A.C. GENERAL

DRAWN	CHECKED	FILE No.
CAV	RJM	21526

Address	House size	Land size
10 Woodside Lane	1,926	10485
14 Woodside Lane	1,568	10697
26 Woodside Lane	700	8030
30 Woodside Lane	700	7412
30 Woodside Lane	700	7412
34 Woodside Lane	700	7248
38 Woodside Lane	1,436	6640
39 Woodside Lane	1,476	9120
42 Woodside Lane	1,398	6777
43 Woodside Lane	1,309	15700
46 Woodside Lane	1,332	7835
47 Woodside Lane	1,282	7005
5 Woodside Lane	1,476	6405
50 Woodside Lane	1,724	7200
57 Woodside Lane	1,582	10320
6 Woodside Lane	1,525	9654
61 Woodside Lane	4,700	7620
64 Woodside Lane	984	7040
65 Woodside Lane	956	6710
68 Woodside Lane	3,556	7170
69 Woodside Lane	1,226	9490
75 Woodside Lane	1,944	6769

1554.54545
1300 square feet

Notes

Gross area: 2968

Gross area: 1568, sketched area: 1699

Gross area: 1448 sketched area: 1238

455 basement; 192 deck

Gross area: 1592; Sketched area: 1347

700 basement

242 deck

Gross area 1734; sketched area: 1734

Gross area 2718; sketched area: 2718; basement, deck, storage

Gross area: 2016 sketched area: 2016; deck

Gross area: 2088; sketched area: 2088, fin area: 1504; 220 second floor (unfinished)

Gross area: 2002; sketched area: 1792; 3/4 story open porch

Gross area: 2361

Gross area: 775; open porch

Gross area: 1016; enclosed porth

Gross area: 956

Gross: 7476; sketched 6006; 1496 basement, garage is 484; upper attack 480

Gross: 2476; basement 1226 and porch

Diane Schilder
50 Oak Hill Drive
Arlington, MA 02474
617-816-2026

October 25, 2022

Dear Zoning Board of Appeals,

I am writing to object to the new house that is being proposed to be built on 39 Woodside Lane that is being portrayed as an “addition” but is more than doubling the size of the current house. I object for the following reasons:

- (1) It is too large for the neighbors and diminishes the neighborhood. The attached spreadsheet (Exhibit 1) presents data on the houses from 5 through 75 Woodside Lane.
 - a. The average size of houses from 5 through 75 Woodside Lane is actually 1,500 and the median house size on the street is 1,436. In other words, half of the houses are less than 1,435 square feet.
 - b. The houses from 25 through 38 Woodside Lane are all 700 square feet.
 - c. One third of houses from 5 through 80 Woodside Lane are less than 1,000 square feet
 - d. One third are between 1,000 and 1,500 square feet.
 - e. Only 2 houses are more than 2,000 square feet, including one that is out of scale for the neighborhood that was recent enlarged that has reduced the visibility of neighbors.
 - f. The developer only selected very large, out of scale houses to compare to the proposed addition. The “comparison houses” do not provide an accurate set of comparisons for houses on Woodside Lane.
 - g. The proposed addition will abut public open space.
 - h. The scale of the proposed addition does not meet the bylaw provision that, “Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.”
- (2) The “addition” will reduce green space that is needed for storm water run-off and it is not clear the developer has a plan to mitigate water issues caused from taking up green space.
- (3) In sum, the proposed “addition” is detrimental to the neighborhood and does not meet the Zoning By Law provision 3.3.3 G.

Thank you for considering this objection.

Diane Schilder

Attachment



Town of Arlington, Massachusetts

Docket # 3703: 1-3 Edith Street

ATTACHMENTS:

Type	File Name	Description
Reference Material	ZBA_Packaage__1-3_Edith_Street.pdf	ZBA Package, 1-3 Edith Street
Reference Material	2022-10-18_07-43.pdf	2022-10-18 07-43
Reference Material	doc05112220221021132047.pdf	doc05112220221021132047
Reference Material	Memo_for_Docket_3703_1-3_Edith_Street.pdf	Memo for Docket #3703 1-3 Edith Street
Reference Material	Additional_elevations_1-3_Edith_St..pdf	Additional elevations 1-3 Edith St.



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

TOWN CLERK'S OFFICE
ARLINGTON, MA 02174

2022 SEP 23 AM 11:43

RECEIVED

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **John Foster and Spencer Reinke** of Arlington, Massachusetts on October 2, 2022, a petition seeking permission to alter their property located at **1-3 Edith Street - Block Plan 013.0-0006-0001.1** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 25, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**
https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtIBP9 **for documentation relating to this petition, visit the ZBA website at www.arlingtonma.gov/zba.**

DOCKET NO 3703

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of John Foster & Spencer Reinke
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Permission to build out shed dormer on the left side of dwelling attic to increase usable space.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 1-3 Edith Street, Arlington with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

This request has been granted to many other homes in this neighborhood and is compatible with
the architectural features, in both scale and materials, of neighboring structures.

E-Mail: jefoster90@gmail.com Signed: _____ Date: 05/24/2022

Telephone: 336-414-0834 Address: 1-3 Edith Street, Arlington MA

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

This remains a 2-family dwelling in an area designated R-2.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The requested dormer addition will keep the structure compatible with existing neighborhood characteristics.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The requested dormer addition will not be a detriment to the character of the neighborhood. The requested dormer addition will improve the appearance of the house and permit additional insulation of the house which will lower the carbon footprint.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 1-3 Edith Street Arlington

Zoning District: R-2

OPEN SPACE*

	EXISTING	PROPOSED
Total lot area	<u>4781</u>	<u>4781</u>
Open Space, Usable	<u>0</u>	<u>0</u>
Open Space, Landscaped	<u>10%</u>	<u>10%</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u>N/A</u>	<u>N/A</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1118</u>	<u>1118</u>
1 st Floor	<u>1230</u>	<u>1230</u>
2 nd Floor	<u>1406</u>	<u>1406</u>
3 rd Floor	<u>0</u>	<u>653</u>
4 th Floor	<u></u>	<u></u>
5 th Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>(264)</u>	<u>(653)</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u>0</u>	<u>0</u>
Total Gross Floor Area (GFA)	<u>3,754</u>	<u>4,407</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>10%</u>	<u>10%</u>
Landscaped Open Space (% of GFA)	<u>0</u>	<u>0</u>
Usable Open Space (Sq. Ft.)	<u>0</u>	<u>0</u>
Usable Open Space (% of GFA)	<u>0</u>	<u>0</u>

This worksheet applies to plans dated 05/24/2022 designed by John Foster and Spencer Reinke

Reviewed with Building Inspector: _____ Date: _____

1-3 Edith Street

Existing area of second floor:

1118 sq ft (main structure) + 288 sq ft (3 enclosed, conditioned porches) = 1406 sq ft

Proposed area of Attic Space with a height of 7'0" from underside of roof frame (rafters) to FF below:

15'5" x 42.5' = 653 sq ft

50% of second floor area = 703 sq ft

% of attic area that is 7'0" or greater: 46%

Current SE Elevation



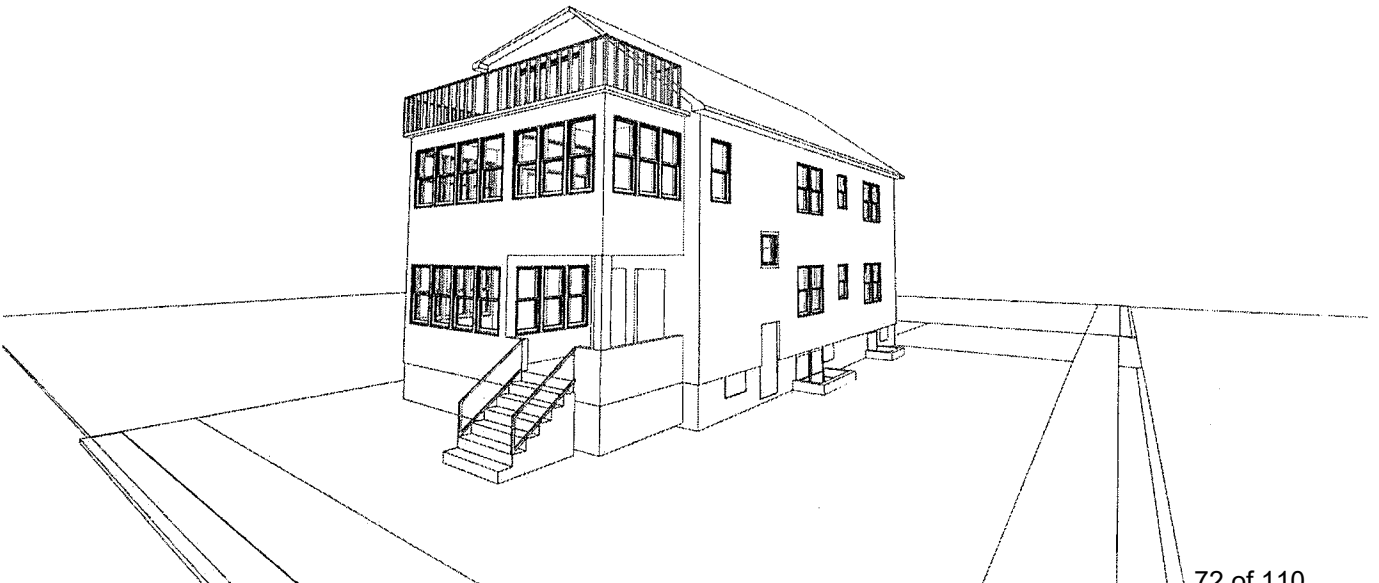
Proposed SE Elevation

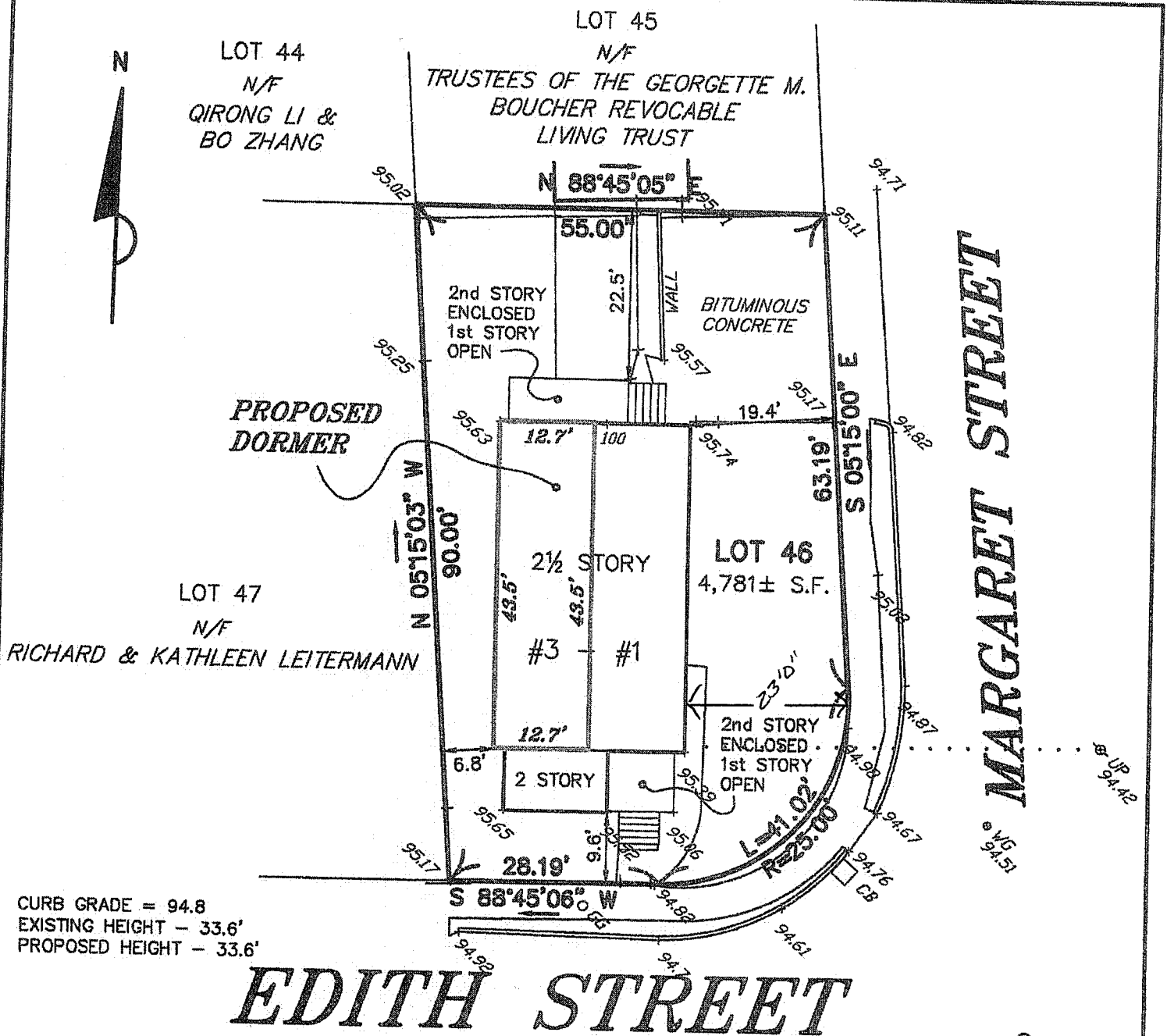


Current S Perspective

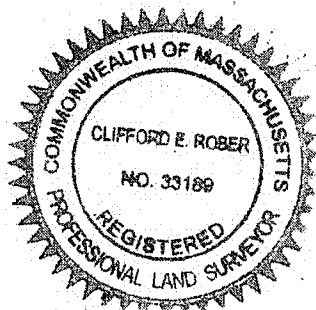


Proposed S Perspective





I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.



PREPARED FOR: JACK FOSTER

PROPOSED PLOT PLAN
#1-3 EDITH STREET
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: 9/23/2021



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6577PP1.DWG

CLIFFORD E. ROBER, PLS DATE
THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

Letter of Support – 1-3 Edith Street Dormer Addition

Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts, 02476

Dear Board Members,

My name is Margarita Ashton.

I live at 2 Edith st in Arlington, Massachusetts.

I have been informed that the Town of Arlington Zoning Board of Appeals is considering a special permit application for 1-3 Edith Street, Docket No. 3703, submitted by John Foster and Spencer Reinke. The applicants provided me with this form letter as well as the application materials and photo renderings of the proposed project.

Having reviewed the special permit application and photo renderings of the proposed project, I wish to inform the Zoning Board of Appeals of my support for the special permit application.

I also wish to specifically affirm the following (check all that apply):

- ☒ The proposed project will maintain the character and integrity of the neighborhood.
- ☒ The proposed project will be a benefit to the neighborhood.
- ☒ The proposed project will not increase traffic or endanger pedestrians.
- ☒ The proposed project is the kind of project I support in Arlington.

☐

Sincerely,

M Ashton

Date: 10/16/22

Letter of Support – 1-3 Edith Street Dormer Addition

Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts, 02476

Dear Board Members,

My name is George Michael HeKim

I live at 10 Edith St. in Arlington, Massachusetts.

I have been informed that the Town of Arlington Zoning Board of Appeals is considering a special permit application for 1-3 Edith Street, Docket No. 3703, submitted by John Foster and Spencer Reinke. The applicants provided me with this form letter as well as the application materials and photo renderings of the proposed project.


Having reviewed the special permit application and photo renderings of the proposed project, I wish to inform the Zoning Board of Appeals of my support for the special permit application.

I also wish to specifically affirm the following (check all that apply):

- ☒ The proposed project will maintain the character and integrity of the neighborhood.
- ☒ The proposed project will be a benefit to the neighborhood.
- ☒ The proposed project will not increase traffic or endanger pedestrians.
- ☒ The proposed project is the kind of project I support in Arlington.

☐

Sincerely,



Date: 15 Oct 2022

Letter of Support – 1-3 Edith Street Dormer Addition

Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts, 02476

Dear Board Members,

My name is Isidora Osmer.

I live at 6 Edith Street in Arlington, Massachusetts.

I have been informed that the Town of Arlington Zoning Board of Appeals is considering a special permit application for 1-3 Edith Street, Docket No. 3703, submitted by John Foster and Spencer Reinke. The applicants provided me with this form letter as well as the application materials and photo renderings of the proposed project.

Having reviewed the special permit application and photo renderings of the proposed project, I wish to inform the Zoning Board of Appeals of my support for the special permit application.

I also wish to specifically affirm the following (check all that apply):

- ☒ The proposed project will maintain the character and integrity of the neighborhood.
- ☒ The proposed project will be a benefit to the neighborhood.
- ☒ The proposed project will not increase traffic or endanger pedestrians.
- ☒ The proposed project is the kind of project I support in Arlington.

☐

Sincerely, Isidora Osmer

Date: 10-16-92

Letter of Support – 1-3 Edith Street Dormer Addition

Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts, 02476

Dear Board Members,

My name is Richard Leitermann. + Kate Leitermann

I live at 5-7 Edith Street in Arlington, Massachusetts.

I have been informed that the Town of Arlington Zoning Board of Appeals is considering a special permit application for 1-3 Edith Street, Docket No. 3703, submitted by John Foster and Spencer Reinke. The applicants provided me with this form letter as well as the application materials and photo renderings of the proposed project.

Having reviewed the special permit application and photo renderings of the proposed project, I wish to inform the Zoning Board of Appeals of my support for the special permit application.

I also wish to specifically affirm the following (check all that apply):

- ☒ The proposed project will maintain the character and integrity of the neighborhood.
- ☒ The proposed project will be a benefit to the neighborhood.
- ☒ The proposed project will not increase traffic or endanger pedestrians.
- ☒ The proposed project is the kind of project I support in Arlington.

- ☐ Jack and Spenser are good neighbors and very responsible and capable people and we support their project. As the adjacent house we would be impacted the most by this change and we are in favor.

Sincerely,

Richard Leitermann + Kathleen Leitermann

Date: 16 October 2022 16 oct 2022



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Claire Ricker, Director, Department of Planning and Community Development
Marisa Lau, Senior Planner
Date: 10/25/2022
RE: Docket 3703 – 1-3 Edith St; Special Permit under Zoning Bylaw 8.1.3(B) Nonconforming Single-Family or Two-Family Dwellings

The applicants, John Foster and Spencer Reinke, seek a Special Permit in accordance with Section 8.1.3.B - Nonconforming Single-Family or Two-Family Dwellings of the Zoning Bylaw. The applicants seek to construct a half story addition with a walk-out deck for a two-family home. The proposal would add 653 square feet of living area to the attic. The total square footage of the structure would increase from 3,754 SF to 4,407 SF (+653 SF) under the proposal.

The structure is on a corner lot in the R2 Zoning District and is nonconforming with the Zoning Bylaw's lot size; front and left side yard; and usable open space requirements. The applicant is not increasing the footprint of the existing structure. The addition would not increase any of the nonconformities of the existing structure.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R2 zoning district.

Criterion #2: Public Convenience/Welfare

The existing two-family use will not change. This proposal would provide additional living space.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

Homes in the vicinity of the property are primarily two-family structures, several of which have large dormers in a variety of styles. Covered and enclosed porches on the front and rear of dwellings are prevalent throughout the neighborhood.

Consistent with the Residential Design Guidelines, the addition is compatible with the style of the existing structure and adjacent homes in the neighborhood.¹ While the proposal will increase the structure's massing, the addition is set back from Edith Street and partially shielded by the proposed deck. The applicant is encouraged to explore modern styles and materials for the deck railing that would better complement the contemporary design of the upper story facade. Overall, the proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses.

Below are aerial and street-based photos of the current building:



¹ Residential Design Guidelines, Principles B-1 (pg. 26) and C-1 (pg. 36).
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Summary of Analysis:

The Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Special Permit criteria in Section 3.3.3, A through G, of the Zoning Bylaw.

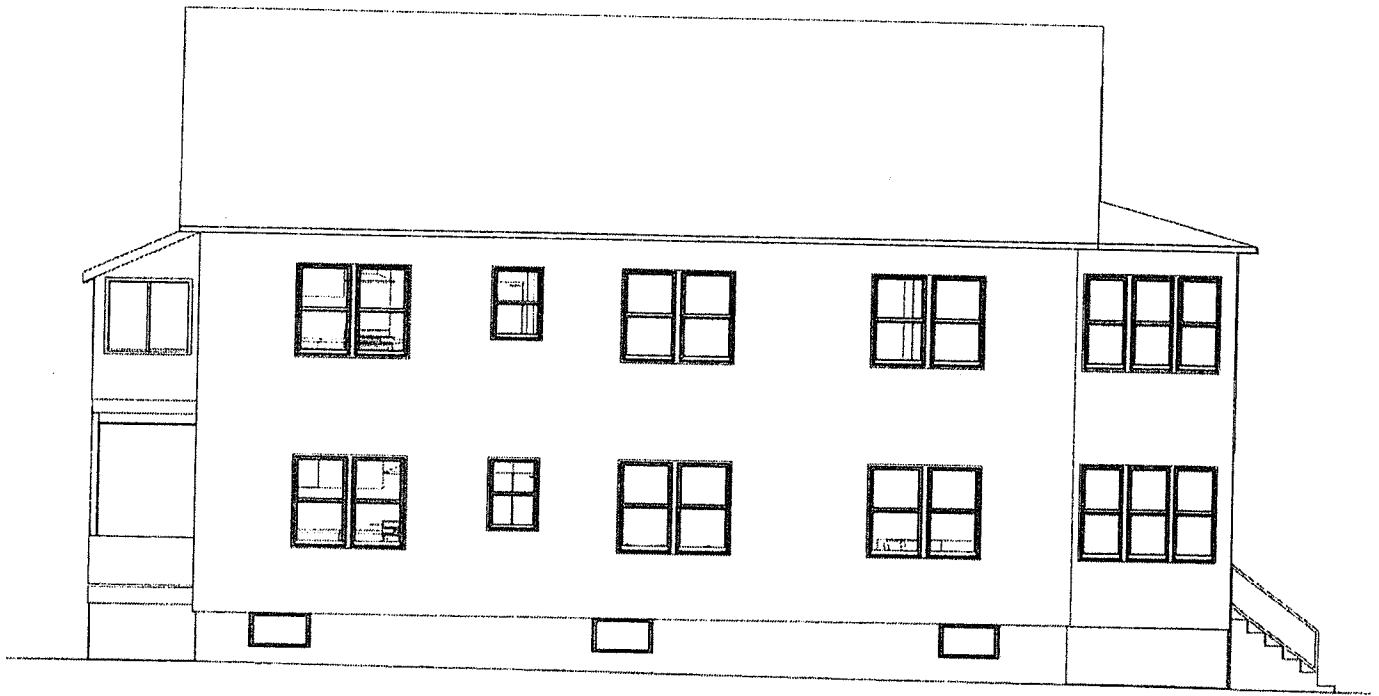
Recommendations:

DPCD recommends that the Zoning Board of Appeals (ZBA) requests that the applicant provide proposed floor plans and side elevations for the addition.

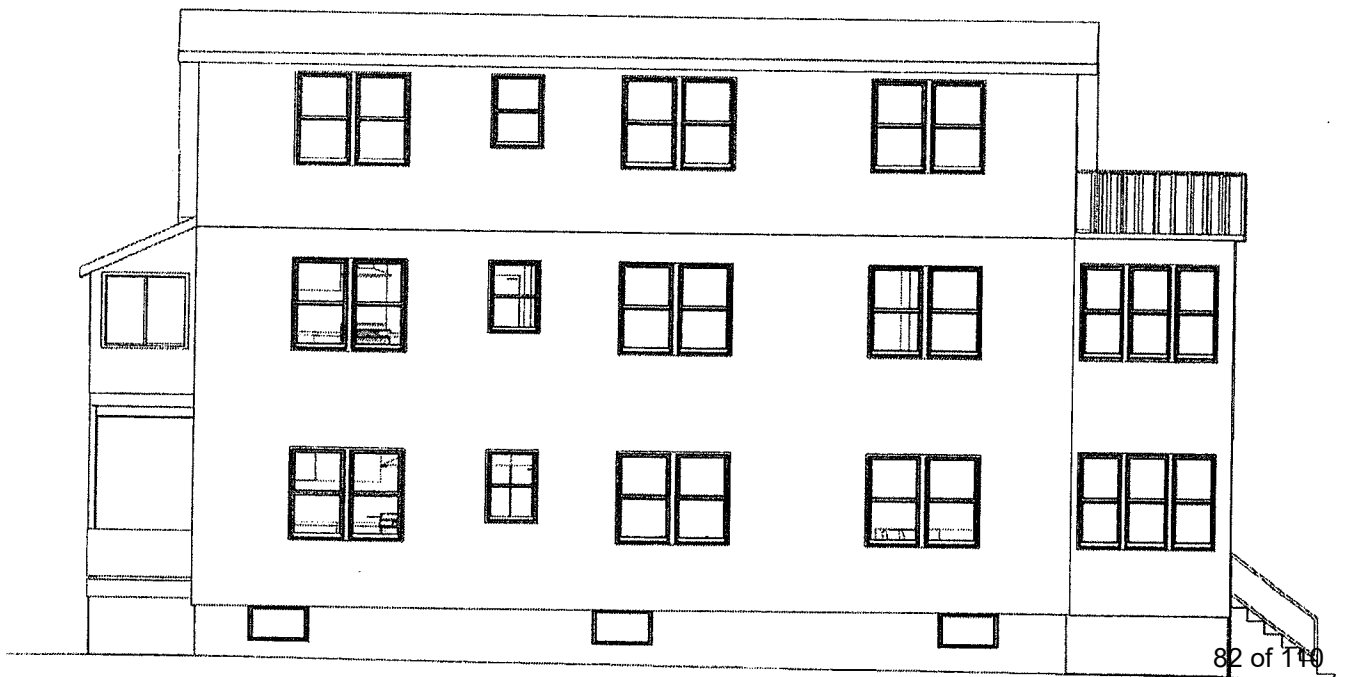
Related Dockets:

- #3716: 70-72 Oxford St – Applicant sought a special permit to construct an addition of two shed dormers on a nonconforming lot in the R2 Zoning District. Approved 10/18/2022.
- #3710: 33 Varnum St – Applicant sought a special permit to construct an addition of two shed dormers on a nonconforming lot in the R2 Zoning District. Approved 8/30/2022.
- #3706: 13-15 Adams St – Applicant sought a special permit to construct a dormer addition on a nonconforming lot in the R2 Zoning District. Approved 8/9/2022.
- #3700: 38-40 Newport St – Applicant sought a special permit to construct an addition of two shed dormers on a nonconforming lot in the R2 Zoning District. Approved 7/12/2022.

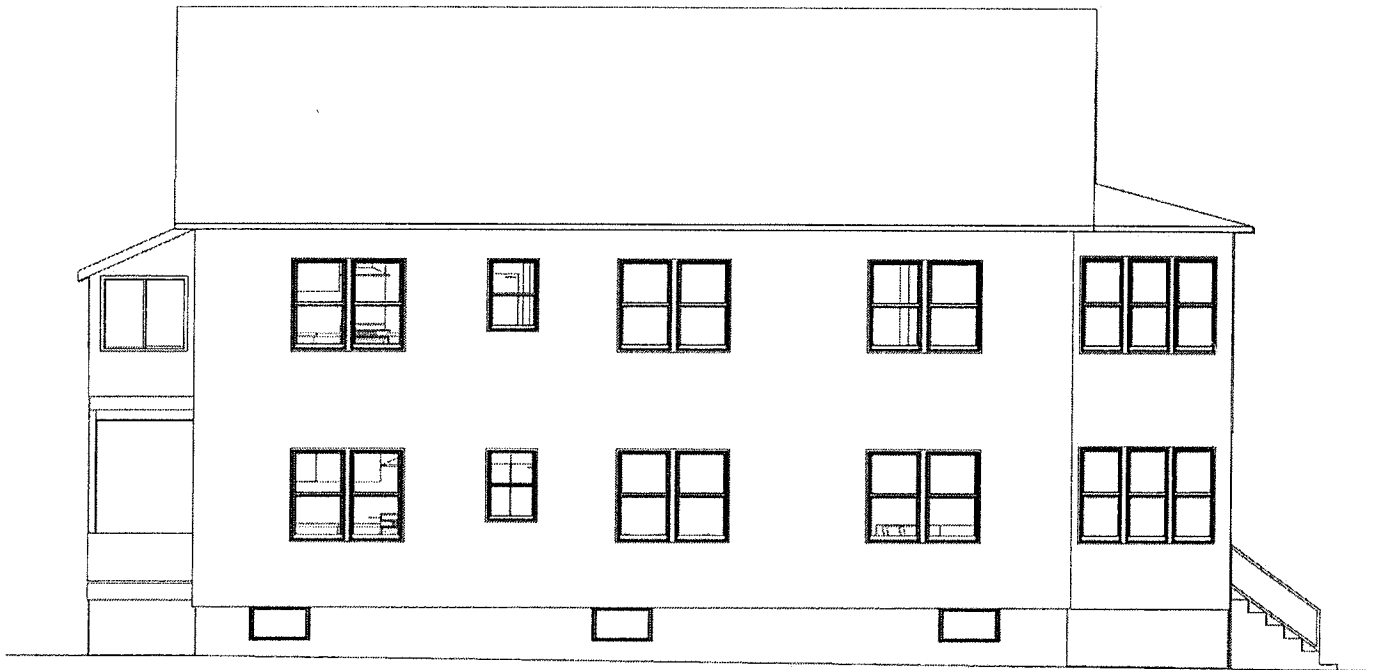
Current SW Elevation



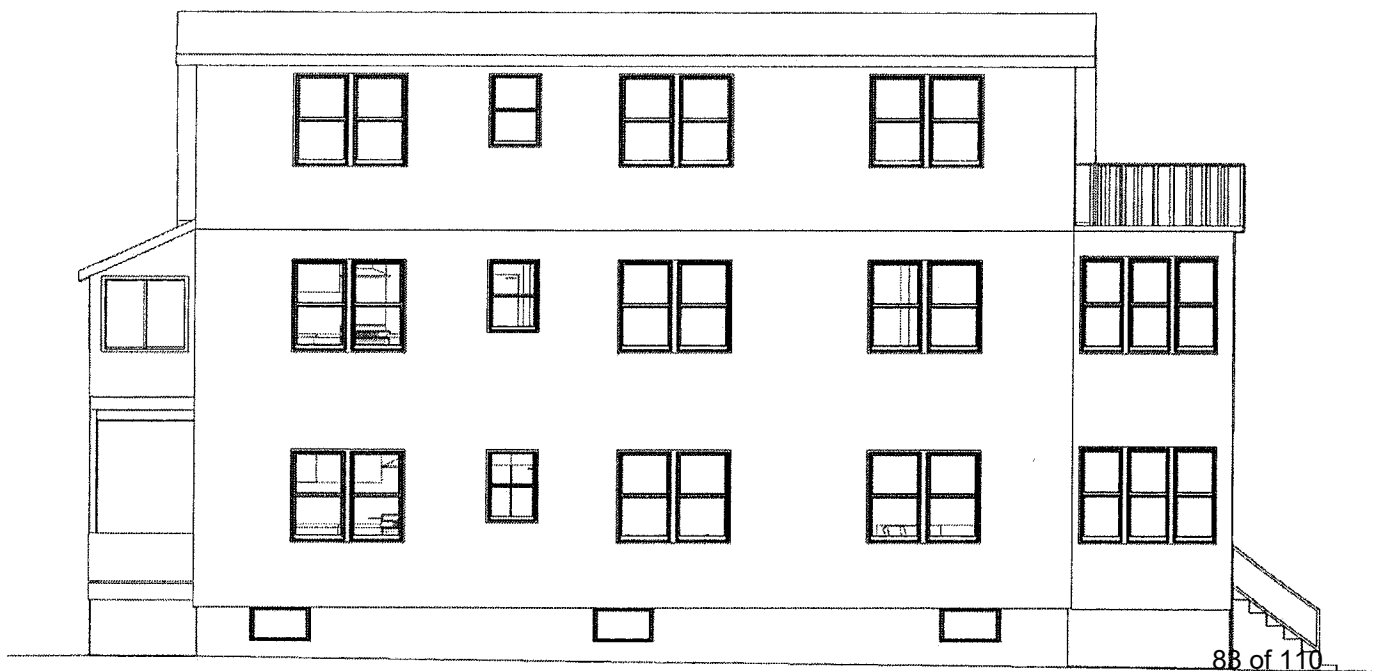
Proposed SW Elevation



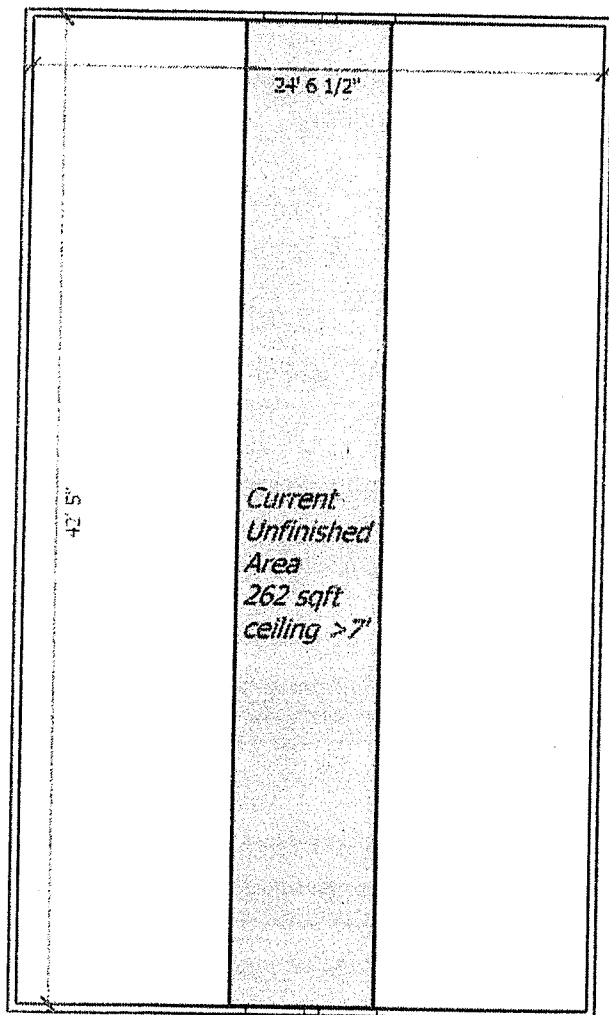
Current SW Elevation



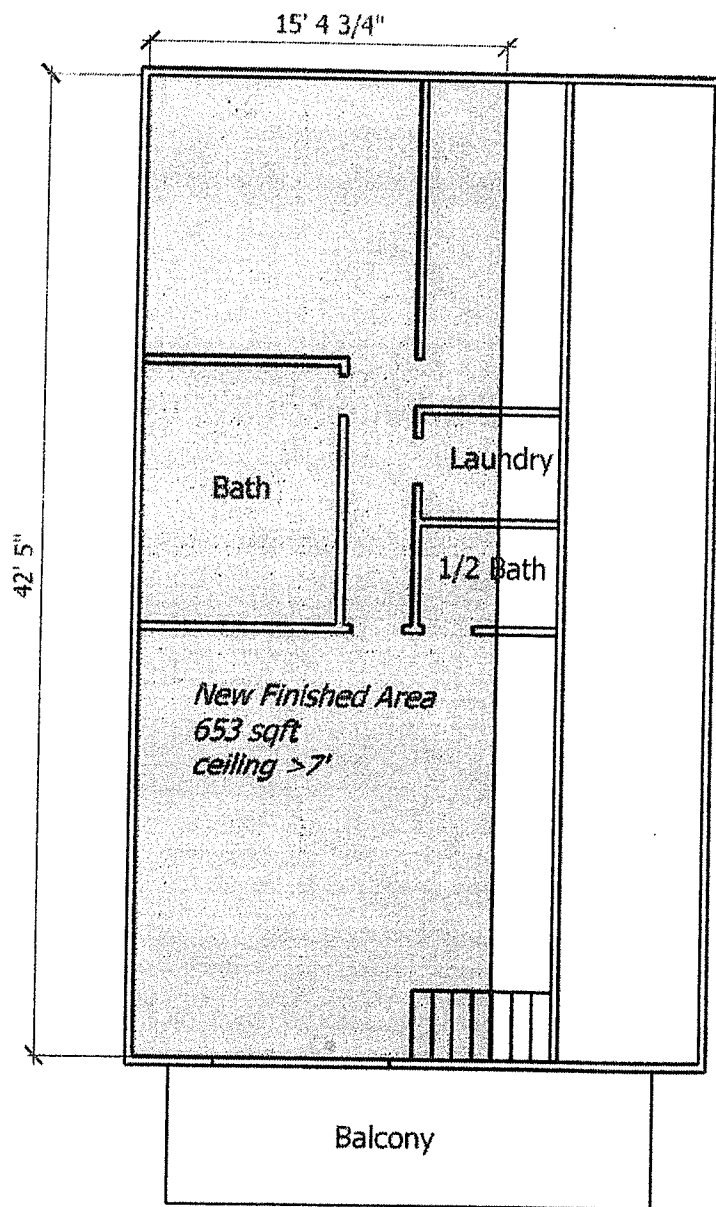
Proposed SW Elevation



Current Floorplan



Proposed Floorplan





Town of Arlington, Massachusetts

Docket # 3718: 24 Langley Road

ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	ZBA_Package__24_Langley_Road.pdf	ZBA Package, 24 Langley Road
▣ Memorandum	3718_24_Langley_Road.pdf	DPCD Memo re: Docket 3718, 24 Langley Rd



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

TOWN CLERK'S OFFICE
ARLINGTON, MA 02178

2022 SEP 23 AM 11:43

RECEIVED

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Lindsey and Herb Sweeney** of Arlington, Massachusetts on September 22, 2022, a petition seeking permission to alter their property located at **24 Langley Road - Block Plan 150.0-0002-0017.0** Said petition would require a Special Permit under **Section 5.3.9 (A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening October 25, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9 **for documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at www.arlington.gov/zba.**

DOCKET NO 3718

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of 24 Langely Road - Porch Addition


to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Section 5.3.9A-The proposed Porch Addition exceeds 25 Sq Ft and projects more than 3.5 Ft beyond
the line of the foundation wall into the minimum Rear Yard setback required in the R-1 district
in which it is located. The section of the Zoning Bylaw referenced above allows for the
proposed Porch Addition by the granting of a Special Permit.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 24 Langely Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The position of the existing lot poses a hardship because it has three street frontages; it requires
three Front Yard setbacks, and one Rear Yard setback. If the side of the house where the proposed
Porch Addition is located were considered a Side Yard, the new construction would sit
within the setback.

E-Mail: hertsweeney4@comcast.net Signed:  Date: 9/6/22
Telephone: 857.998.7141 Address: 24 Langley Road, Arlington, MA 02474

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.
The requested use is permitted in the R-1 Zoning District through the granting of a Special Permit
Section 5.3.9A of the Town of Arlington Zoning Bylaw.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*
The proposed Porch Addition would improve the convenience and safety of the secondary side
entry to the house.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*
The proposed Porch Addition at the Kitchen entry does not increase the volume of traffic or
congestion. It addresses pedestrian safety by creating an alternative to the existing circulation
pattern on this exposed and terraced site.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*
The Proposed Porch Addition does not unduly impact any municipal system in that all water drainage
will be collected and handled on site.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

The proposed Porch Addition will not result in the need for any special regulations.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

A one-story porch is a common feature of the houses in this area, and the proposed design creates symmetry for the house massing centered on its front entry. This design mimics that of the neighborhood house type and unifies it with the existing fabric of the area.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The Porch Addition has an intimate scale to accommodate morning coffee or an evening chat. It allow neighbors to casually stop by while out walking and fits with the existing friendly neighborhood vibe.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 For Applications to the Zoning Board of Appeals

- 1. Property Location: 24 Langley Road Zoning District: R1
- 2. Present Use/Occupancy: Residential No. of dwelling units One
- 3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2542 Sq. Ft.
- 4. Proposed Use/Occupancy: Residential No. of dwelling units One
- 5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2542 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	9001 Sq Ft	no change	min. 6000 Sq Ft
7. Frontage (Ft.)	241.91 Ft	no change	min. 60 Ft
8. Floor area ratio	-	-	max.
9. Lot Coverage (%)	13.3%	-	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	-	-	min. -
11. Front Yard Depth (Ft.)	25.1, 27.2, 25.3		min. 25 Ft
12. Left Side Yard Depth (Ft.)	-	-	min. 10 Ft
13. Right Side Yard Depth (Ft.)	-	-	min. 10 Ft
14. Rear Yard Depth (Ft.)	22.3 Ft		min. 20 Ft
15. Height (Stories)	2.5	no change	max. 2.5
16. Height (Ft.)	29.24 Ft	no change	max. 35 Ft
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	>10%	no change	
17A. Landscaped Open Space (% of GFA)	>10%	no chanage	min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	2180 Sq Ft	no change	
18A. Usable Open Space (% of GFA)	86%		min. 30%
19. Number of Parking Spaces	1	no change	min.
20. Parking area setbacks (if applicable)	-	-	min.
21. Number of Loading Spaces (if applicable)	-	-	min.
22. Type of construction	wd frame	no change	N/A
23. Slope of proposed roof(s) (in. per ft.)	22 in per ft	3 in per ft	min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 24 Langley Road Zoning District: R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>9001 Sq Ft</u>	<u>no change</u>
Open Space, Usable	<u>2180 Sq Ft</u>	<u>no change</u>
Open Space, Landscaped	<u>>10%</u>	<u>no change</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>-</u>	<u>-</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0 Sq Ft (ch=6'9"aff)</u>	<u>no change</u>
1 st Floor	<u>1301 Sq Ft</u>	<u>no change</u>
2 nd Floor	<u>1241 Sq Ft</u>	<u>no change</u>
3 rd Floor	<u>-</u>	<u>-</u>
4 th Floor	<u>-</u>	<u>-</u>
5 th Floor	<u>-</u>	<u>-</u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>-</u>	<u>-</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>-</u>	<u>-</u>
All weather habitable porches and balconies	<u>-</u>	<u>-</u>
Total Gross Floor Area (GFA)	<u>2542 Sq Ft</u>	<u>no change</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>>10%</u>	<u>no change</u>
Landscaped Open Space (% of GFA)	<u>>10%</u>	<u>no change</u>
Usable Open Space (Sq. Ft.)	<u>2180 Sq Ft</u>	<u>no change</u>
Usable Open Space (% of GFA)	<u>86%</u>	<u></u>

This worksheet applies to plans dated 09/01/2022 designed by FAITH BAUM ARCHITECTS

Reviewed with Building Inspector: _____ Date: _____

August 23, 2022

Arlington Zoning Board of Appeals
23 Maple Street
Arlington, MA 02476

Dear Board Members,
My neighbors, Herb and Lindsay Sweeney of 24 Langley Road, have informed me of their wish to file for a special permit to build a porch on the side of their home. I support my neighbors' application for a special permit. The addition of a side porch to their home would create a symmetry in keeping with the feel of the neighborhood, and the design of the porch furthers a sense of unity with the existing fabric of the area.

Sincerely yours,

Richard Sullivan
Name

167 Crosby St. Arlington, MA
Street Address 02474

Marilyn Sullivan
167 Crosby St. Arlington

August 23, 2022

Arlington Zoning Board of Appeals
23 Maple Street
Arlington, MA 02476

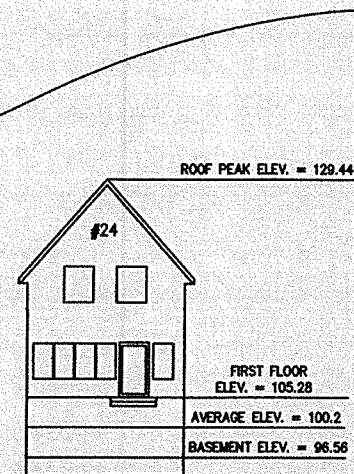
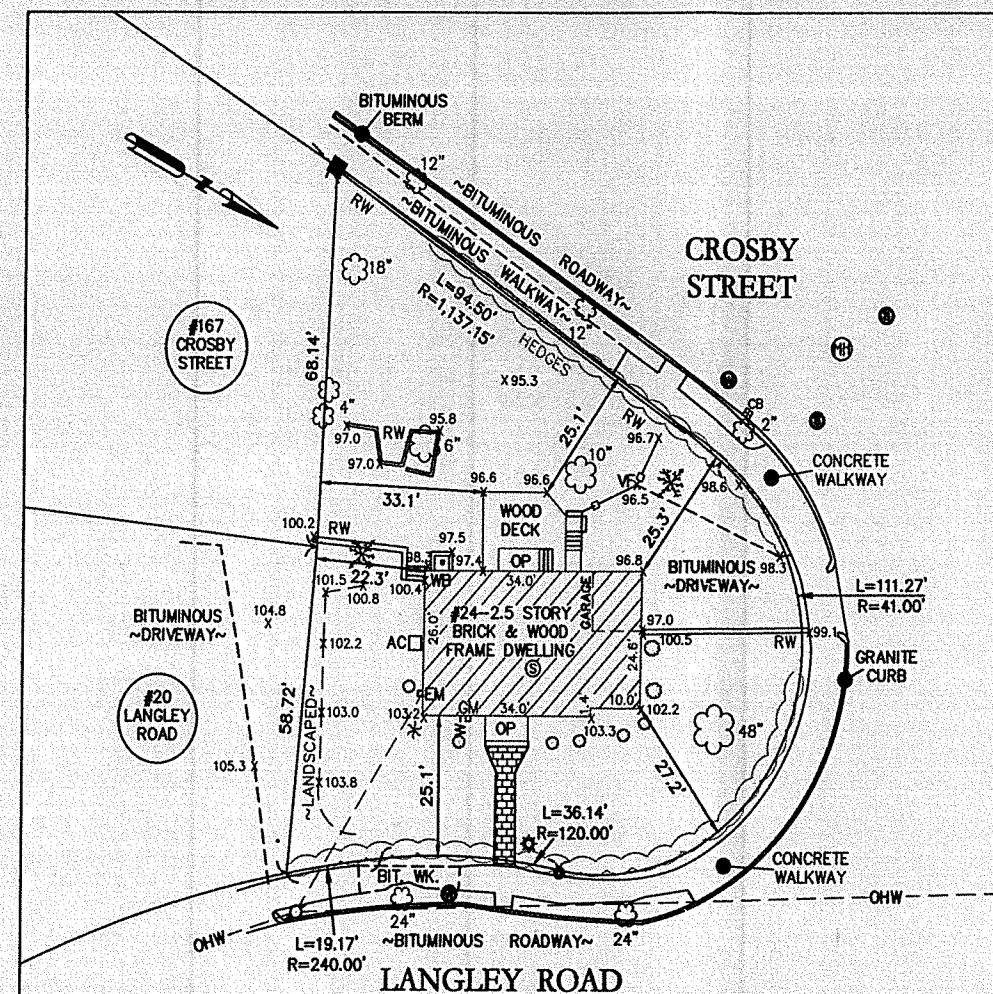
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Sincerely yours,

Elissa Huber - Anderson
Name

19 Langley Rd. Arlington MA
Street Address



EXISTING CONDITIONS

NOTES:

ALL OFFSETS & DIMENSIONS TO THE EXISTING STRUCTURE ARE TO THE SIDING.

ALL OFFSETS & DIMENSIONS TO THE PROPOSED STRUCTURE ARE TO THE FOUNDATION.

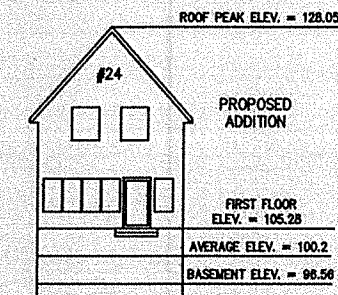
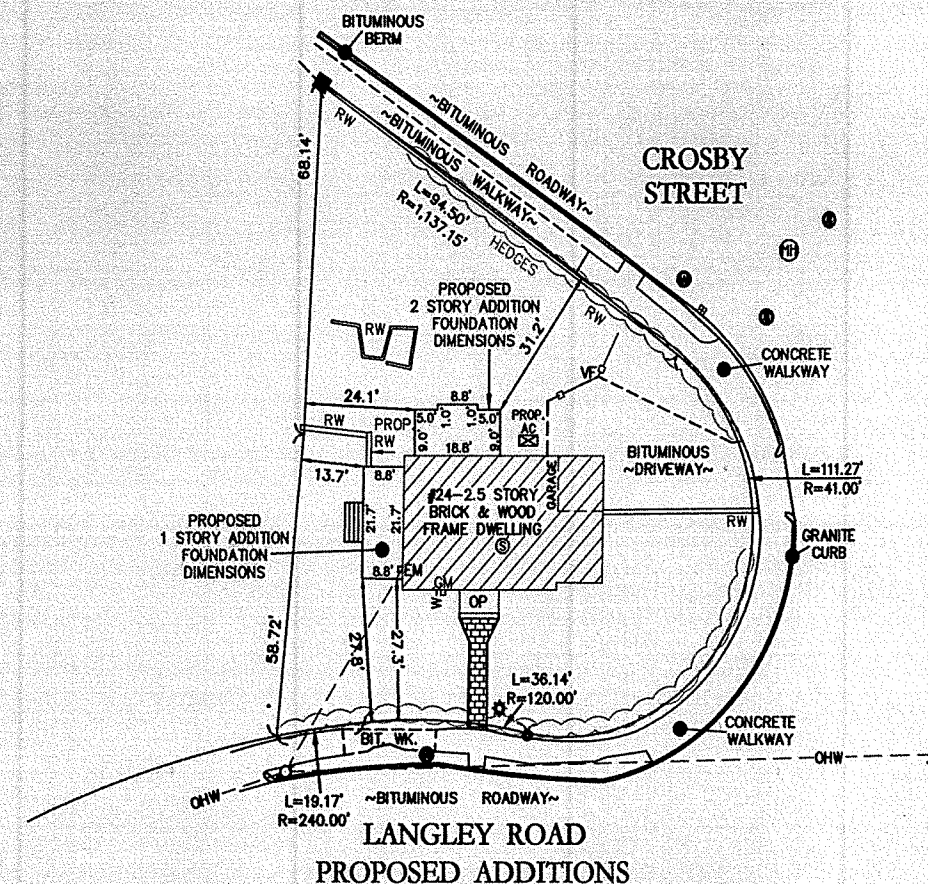
THE ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

LOT AREA = 9,001 SQ. FT.

AC=AIR CONDITIONING
CB=CATCH BASIN
EM=ELECTRIC METER
GM=GAS METER
OHW=OVERHEAD WIRES
OP=OPEN PORCH
RW=RETAINING WALL
VF=VINYL FENCE
W=WATER
WB=WALKOUT BASEMENT

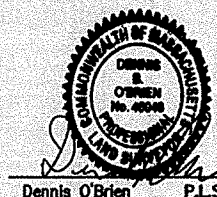
LEGEND:

- ⊕ = DECIDUOUS TREE
- ⊙ = GAS VALVE
- ⊕ = MANHOLE
- ⊙ = 2" PIPE
- ⊕ = SEWER MANHOLE
- ⊙ = SEWER OUTLET
- = STONE BOUND WITH DRILL HOLE - FOUND
- ⊙ = UTILITY POLE
- ⊙ = WATER GATE
- * = ARBORVITAE
- = BUSH
- ⊕ = CLUSTER
- X 100.0 = SPOT SHOT ELEV.



NOTE:

EXISTING AIR CONDITIONING TO BE RE-LOCATED AS SHOWN ON PLAN.
EXISTING ELECTRIC SERVICE ENTRY TO BE RE-LOCATED AS PER EVERSOURCE.



PLAN SHOWING PROPOSED ADDITIONS
24 LANGLEY ROAD
ARLINGTON, MA MIDDLESEX COUNTY

SCALE:	DATE:	REVISED:	DRAWN BY:	CHECKED BY:
1:20	1/21/2022	9/12/2022	W.M.N.	D.O.

SWEENEY RESIDENCE

24 Langley Road Arlington, MA 02474

APPLICATION FOR SPECIAL PERMIT

DRAWING LIST

-	TITLE PAGE
CS	DRAWING LIST, ABBREVIATIONS, PROJECT SUMMARY, OUTLINE SPECIFICATION FOR GENERAL CONSTRUCTION
P1.0	SITE PLANS SHOWING EXISTING AND PROPOSED USABLE AND LANDSCAPED OPEN SPACE
A1.0	SITE PLANS SHOWING EXISTING AND PROPOSED ROOFS
A1.1	PROPOSED FOUNDATION PLAN AND BASEMENT PLAN SHOWING PORCH
A1.2	PROPOSED FIRST FLOOR PLAN AND SECOND FLOOR PLAN SHOWING PORCH
A2.0	PROPOSED SECTION EAST WEST AND NORTH-SOUTH SECTION SHOWING PORCH
A3.0	EXISTING AND PROPOSED EAST ELEVATION SHOWING PORCH
A3.1	EXISTING AND PROPOSED WEST ELEVATION SHOWING PORCH
A3.2	EXISTING AND PROPOSED NORTH ELEVATION
A3.3	EXISTING AND PROPOSED SOUTH ELEVATION SHOWING PORCH
-	PHOTOGRAPHS OF NEIGHBORHOOD FEATURES

ABBREVIATIONS

CLG	CEILING	GWB	GYPSUM WALL BOARD
DEMO	DEMOLITION	NIC	NOT IN CONTRACT
DIA	DIAMETER	PTD	PAINTED
DR	DOOR	PT	PRESSURE TREATED
DWG	DRAWINGS	RM	ROOM
EXG	EXISTING	TBD	TO BE DETERMINED
EXT	EXTERIOR	TOFF	TOP OF FINISHED FLOOR
FIN	FINISH	UON	UNLESS OTHERWISE NOTED
FLR	FLOOR	VIF	VERIFY IN FIELD
		WDW	WINDOW

PROJECT SUMMARY

PROJECT INCLUDES CONSTRUCTION OF:

- COVERED OPEN PORCH
- UNFINISHED AND UNHEATED STORAGE BENEATH THE COVERED PORCH
- STAIR FROM GRADE TO THE PORCH DECK

AREA OF NEW ROOF (INCLUDING EAVE OVERHANGS):	243 SF.
AREA OF THE PORCH DECK:	201 SF.
AREA OF THE UNFINIISHED STORAGE AREA BENEATH THE PORCH:	191 SF.

OUTLINE SPECIFICATION FOR GENERAL CONSTRUCTION

CONTRACTOR SHALL SUPPLY AND INSTALL THE FOLLOWING:

NEW ROOF

FRAMING:	2X WD CONSTRUCTION. SEE STRUCTURAL DRAWINGS. EAVE HEIGHT SHALL MATCH EXISTING AS SHOWN ON DRAWINGS.
SHEATHING:	½ THICK EXTERIOR GRADE PLYWOOD SHEATHING
ROOFING:	ASPHALT, SHINGLES, CERTAINTED OR EQUAL. MATCH EXISTING IN DESIGN INCLUDING COLOR, DIMENSION, TEXTURE AND DETAIL. INSTALL FLASHING WHERE TOP OF ROOF MEETS EXTERIOR WALL OF HOUSE.
DROPPED CEILING:	½ THICK CELLULAR PVC BEADED BOARD ON P.T. STRAPPING.

DOWNSPOUTS/ GUTTERS:

ALUMINUM. DRAIN AWAY FROM HOUSE. MATCH AND CONNECT TO EXISTING.

COLUMNS AND PILASTERS

PRESSURE TREATED POSTS AS PER STRUCTURAL DRAWINGS.
FIBER REINFORCED POLYMER COLUMN COVERS.
SQUARE AND UN-TAPERED WITH DORIC CAPITAL AND BASE.

PORCH DECK/UNFINISHED STORAGE ROOF

2X TAPERED PRESSURE TREATED WD FRAMING WITH DRAINAGE PLANE ABOVE. SEE STRUCTURAL DRAWINGS.
INSTALL DRAINAGE PLANE ABOVE 2X FRAMING WITH WATERPROOF ROOFING OVER ¾" EXTERIOR GRADE PLYWOOD.
INSTALL TAPERED PT WD FRAMING WITH DECKING ON TOP OF DRAINAGE PLANE.
DECKING SHALL BE 1X4 IPE BOARDS W/ NATURAL FINISH. MAINTAIN 3/16" SPACE BETWEEN.
INSTALL FLASHING/ COUNTER-FLASHING WHERE ROOFING MEETS EXISTING BRICK WALL.

EXTERIOR STAIRS

PRESSURE TREATED LUMBER FRAMING.
LOWEST STEP SHALL SIT ON CONCRETE FOOTING CONTINUED BELOW FROST LINE.
STAIR RISERS: 1" TH. CELLULAR PVC
STAIR TREAD: 1" TH. IPE WOOD

TRIM AND MOLDINGS

STANDING AND RUNNING TRIM, & STAIR SKIRTING SHALL BE SMOOTH SURFACE CELLULAR PVC, PAINTED TO MATCH EXISTING.
TRIM AND MOLDINGS SHALL MATCH DIMENSION AND CONFIGURATION OF EXISTING UNLESS OTHERWISE NOTED.

PORCH RAILING

STAIR RAILING/PORCH GUARD RAIL SHALL BE TIMBERTECH COMPOSITE RAIL SYSTEM.
HANDRAIL: TRADEMARK HANDRAIL
NEWEL: 4X4 SLEEVE W/ 4X4 ISLAND CAP, 4X4 SKIRT
BALUSTER: 1.25 X 1.25 SQ COMPOSITE

UNFINISHED STORAGE AREA WALL

CONCRETE FOUNDATION WALL ON CONCRETE FOOTING WITH NATURAL STONE VENEER WHERE EXTERIOR FACES OF THE WALL SIT ABOVE GRADE. WATERPROOF THE CONCRETE WALL.
NATURAL STONE VENEER DESIGN SHALL MATCH THE EXISTING RUBBLE STONE FOUNDATION IN STONES' DIMENSIONS, COLORS, TEXTURES, AND JOINTS.
INSTALL VENEER AS PER SUPPLIER'S RECOMMENDATION.

UNFINISHED STORAGE AREA FLOOR

4" CONCRETE SLAB SLOPED AT 1/8" PER FOOT MIN. TOWARD ENTRY DOOR.
SLAB SHALL SIT ON CONCRETE-RATED MOISTURE BARRIER MOISTURE BARRIER AND 4" (MIN) OF COMPACTED GRAVEL.

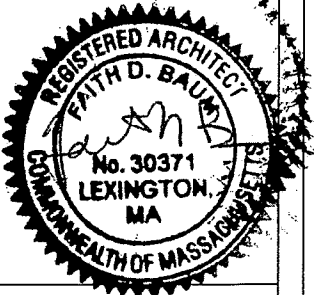
FAITH BAUM ARCHITECTS
33 Hancock Street
Lexington, MA
02420
781-674-9344
www.faithbaumarchitects.com

Sweeney Residence
24 Langley Road
Arlington, MA
02474

SPECIAL
PERMIT

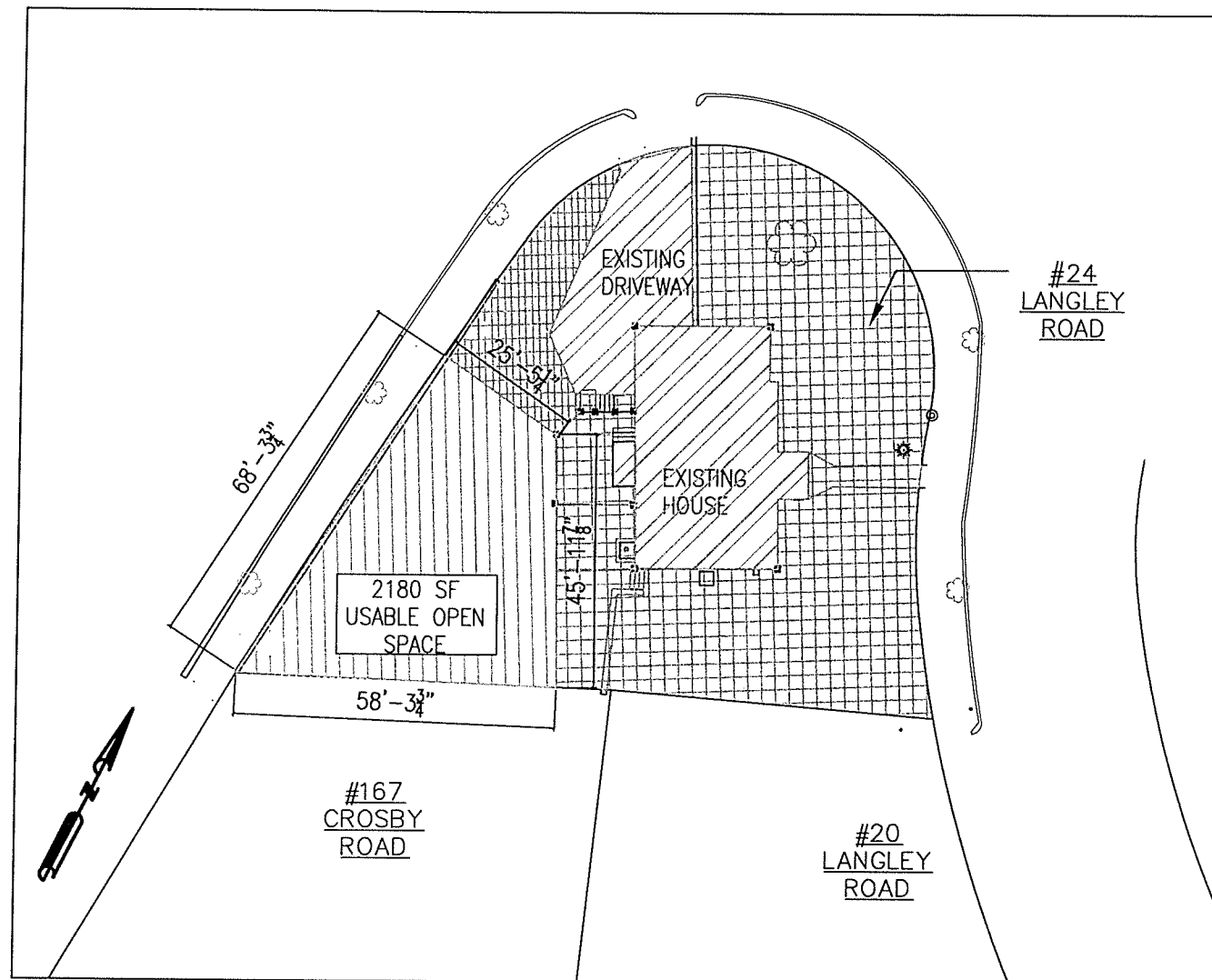
SCALE:

DATE:
SEPT 01, 2022



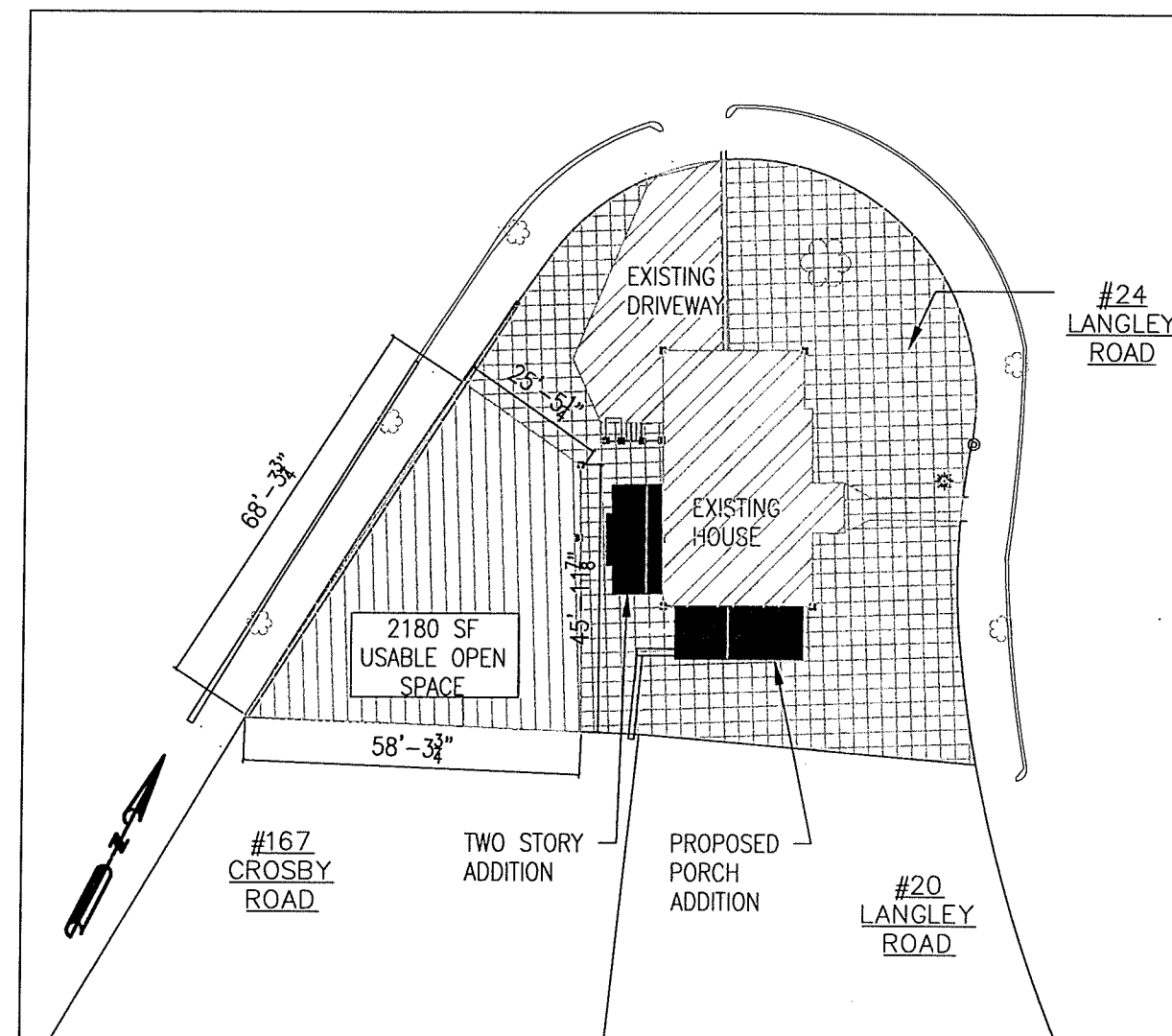
DRAWING LIST,
ABBREVIATIONS,
PROJECT
SUMMARY, &
OUTLINE
SPECIFICATION

CS



PLOT PLAN SHOWING EXISTING USABLE AND LANDSCAPED OPEN SPACE

1



PLOT PLAN SHOWING PROPOSED USABLE AND LANDSCAPED OPEN SPACE

2



LEGEND- OPEN SPACE

LANDSCAPED:

USABLE:

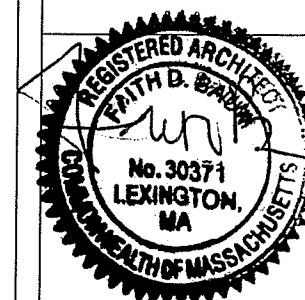
FAITH BAUM ARCHITECTS
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SPECIAL PERMIT

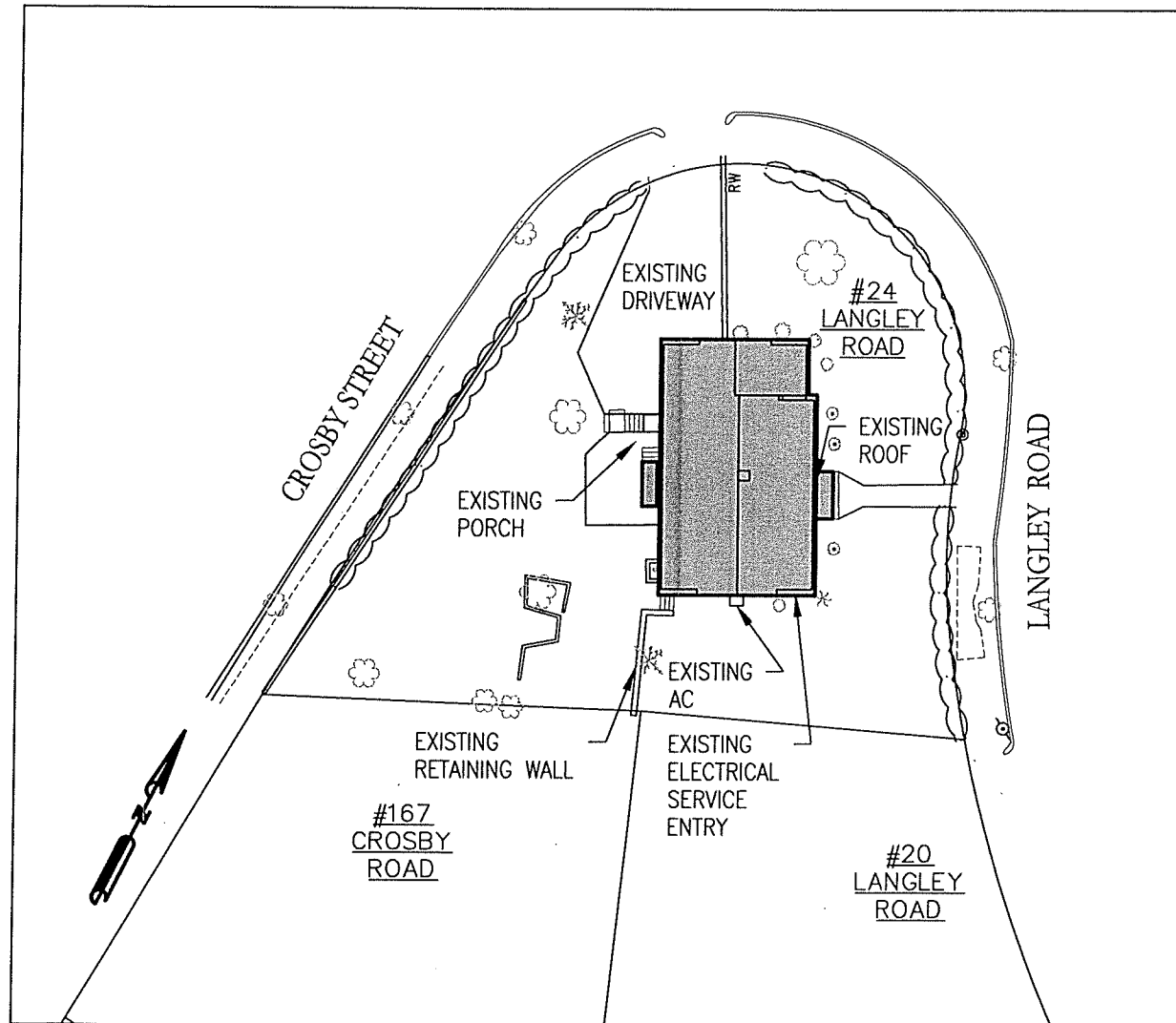
SCALE:
1/32"=1'-0"

DATE:
SEPT 01, 2022

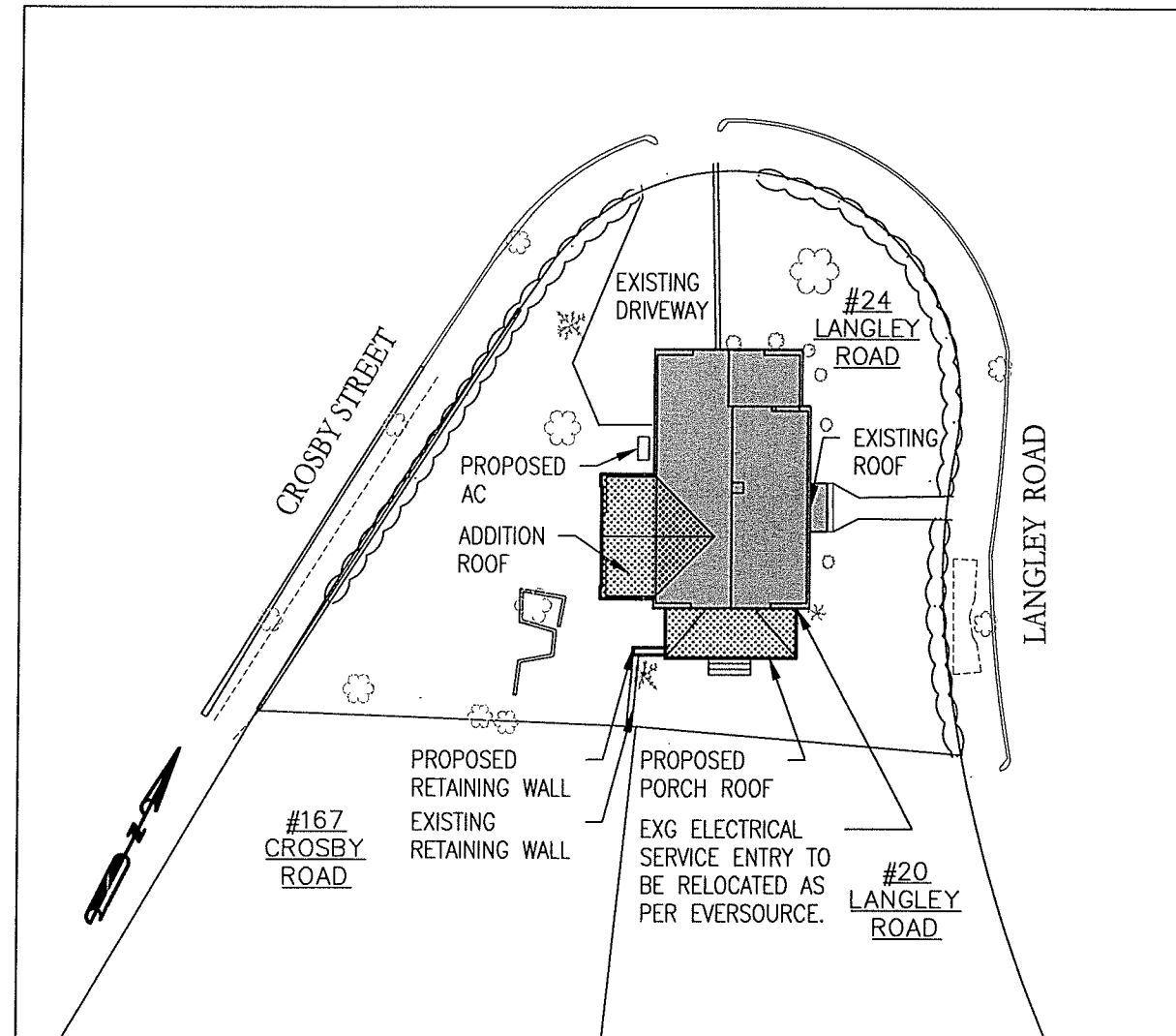


SITE PLANS SHOWING EXISTING AND PROPOSED USABLE AND LANDSCAPED OPEN SPACE

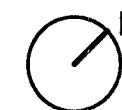
P1.0



1 PLOT PLAN SHOWING EXISTNG ROOFS



2 PLOT PLAN SHOWING PROPOSED ROOFS



LEGEND

EXISTING



NEW



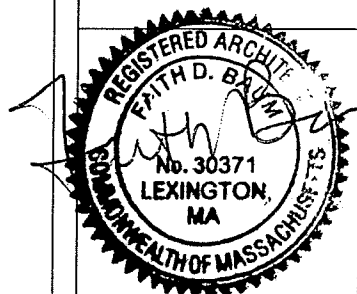
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02420
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24 Langley Road
Arlington, MA
02474

SPECIAL
PERMIT

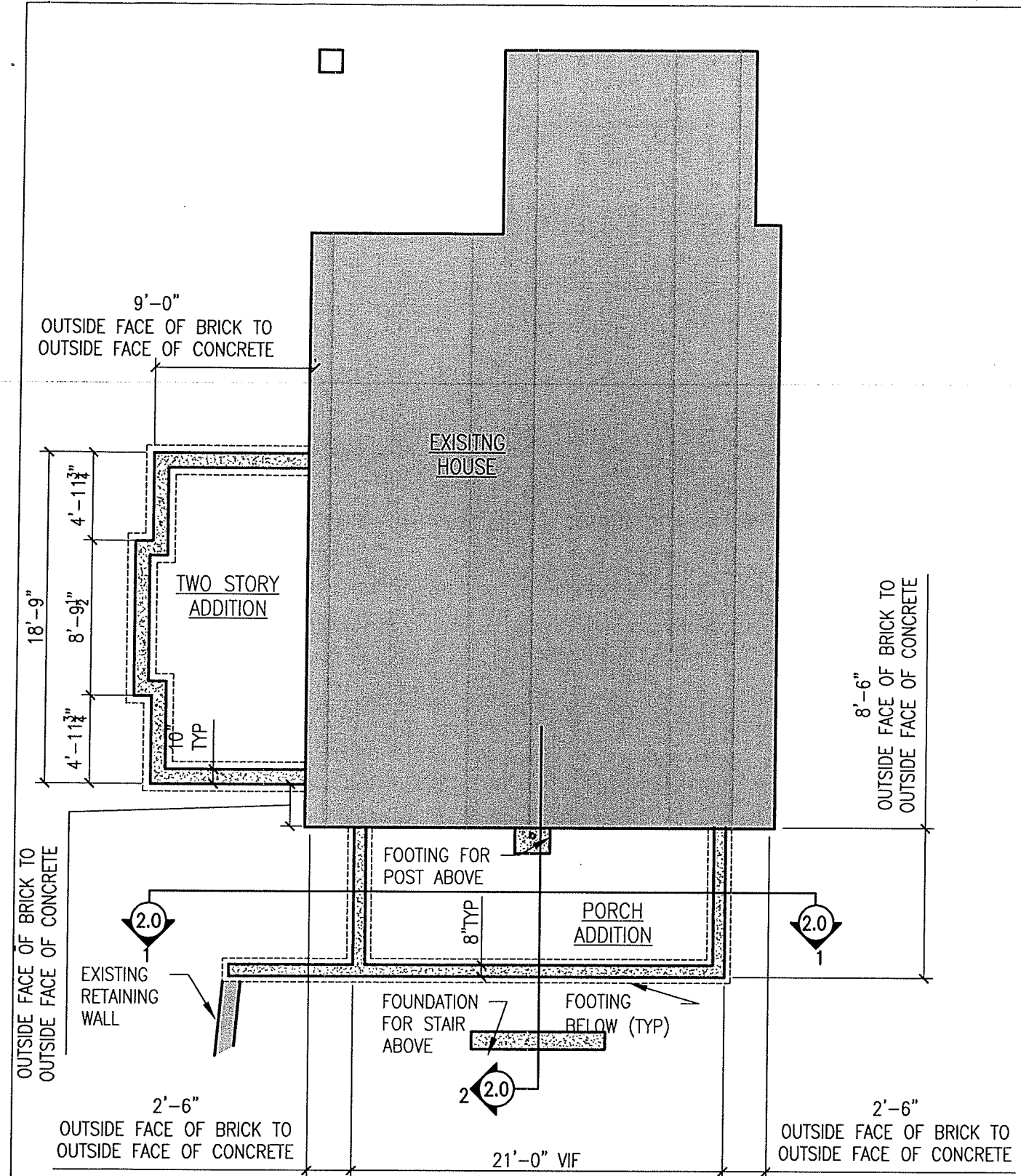
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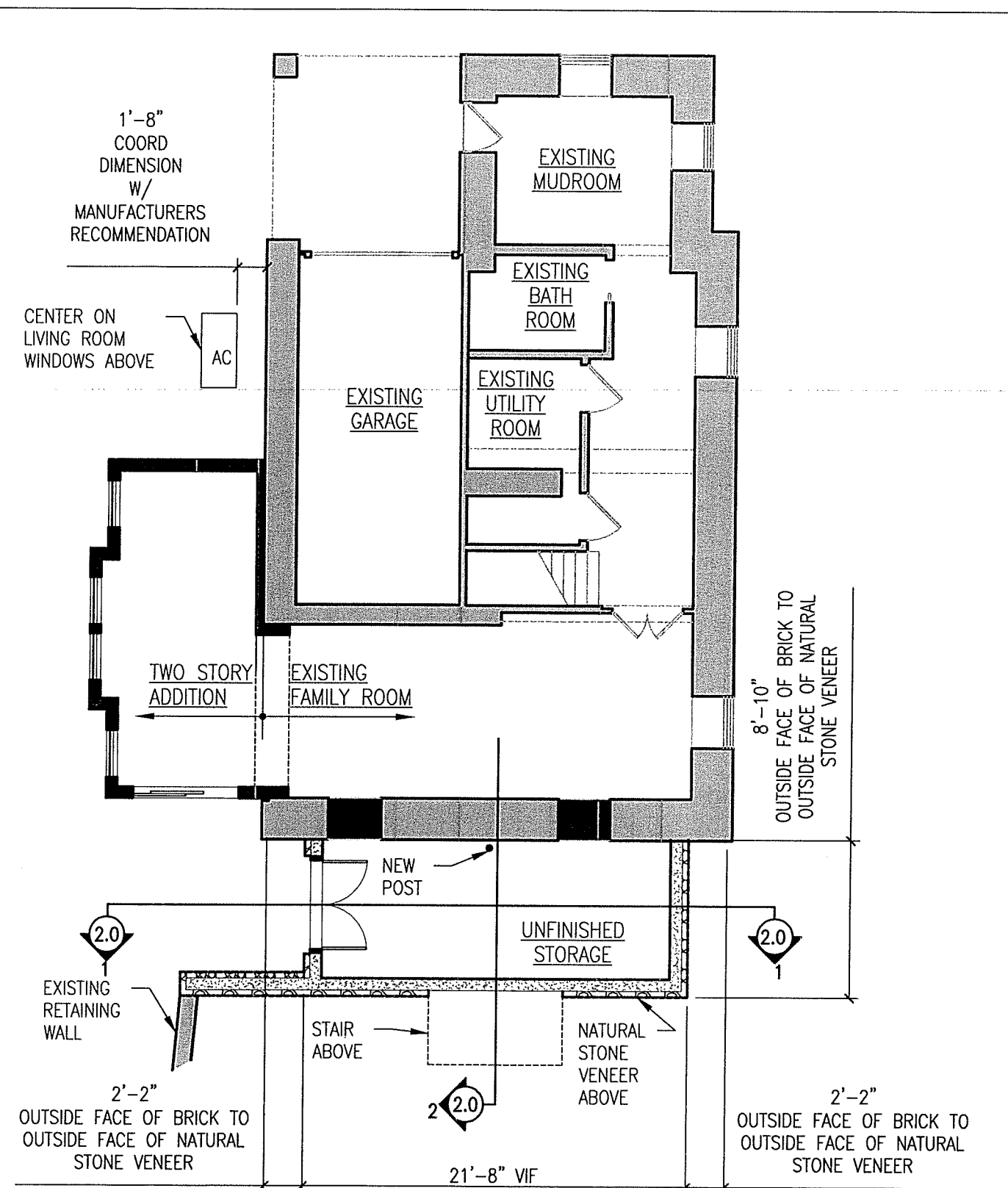


SITE PLANS
SHOWING
EXISTING &
PROPOSED
ROOFS

A1.0



1 PROPOSED FOUNDATION PLAN



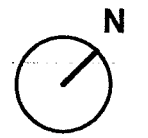
2 PROPOSED BASEMENT PLAN

LEGEND

EXG WALL [Pattern]

NEW WALL [Pattern]

NEW FOUNDATION WALL [Pattern]



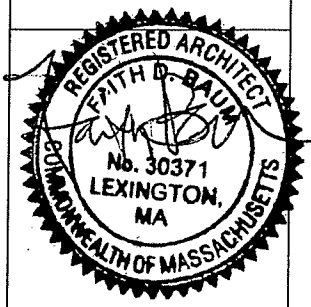
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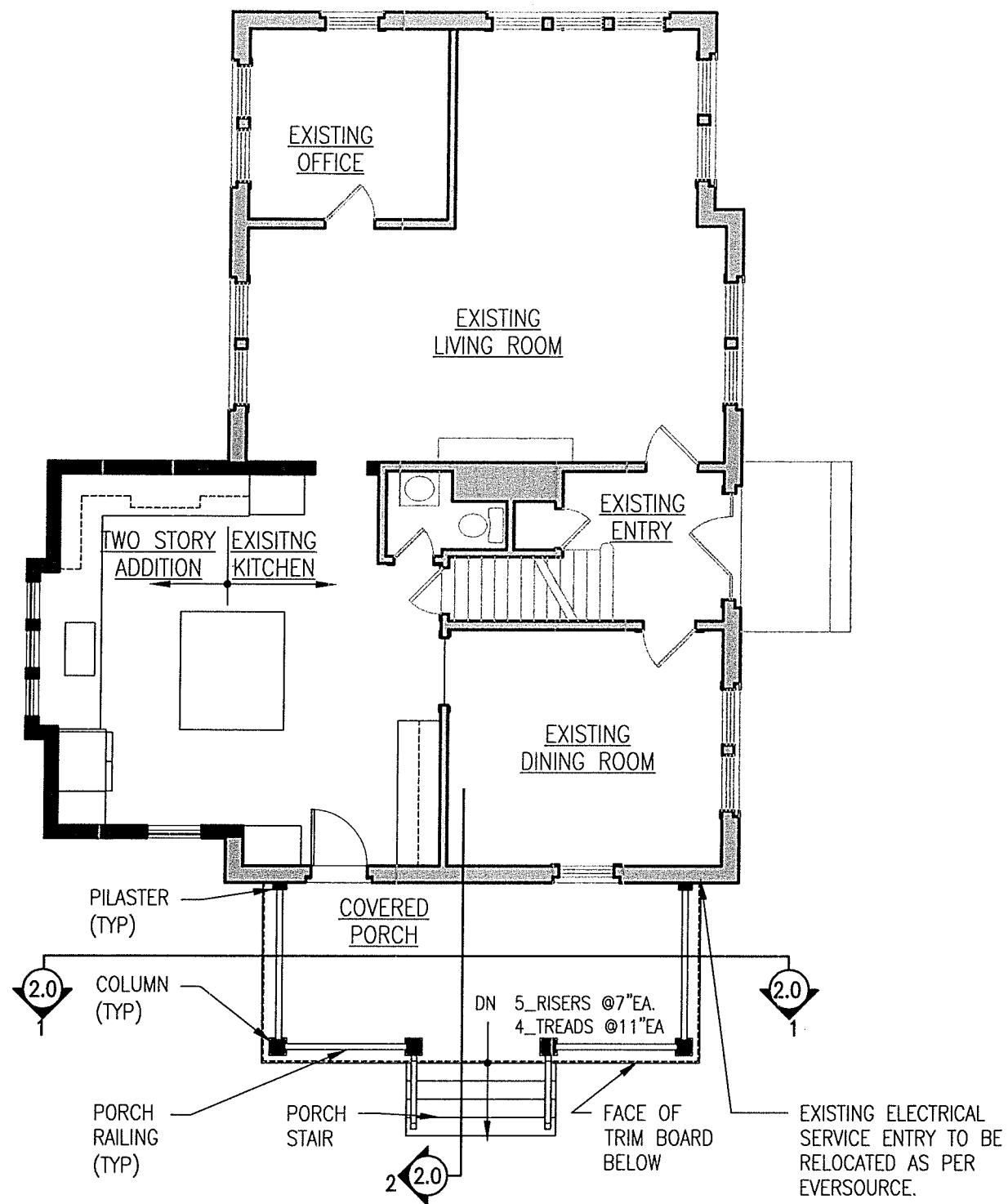
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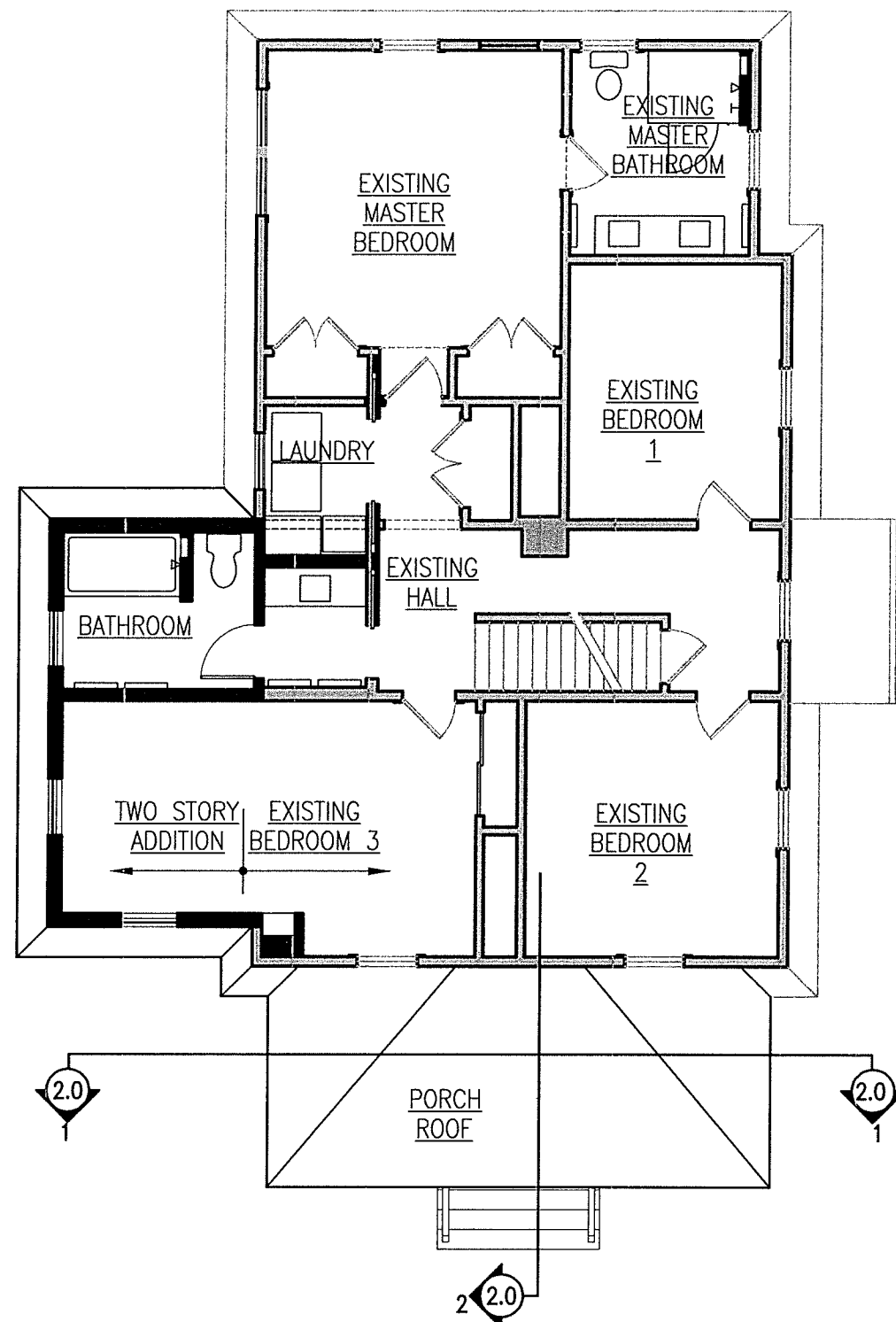


PROPOSED FOUNDATION PLAN & BASEMENT PLAN SHOWING PORCH

A1.1



1 PROPOSED 1ST FLOOR PLAN



2 PROPOSED 2ND FLOOR PLAN



LEGEND

EXG WALL

NEW WALL

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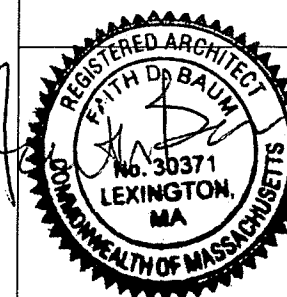
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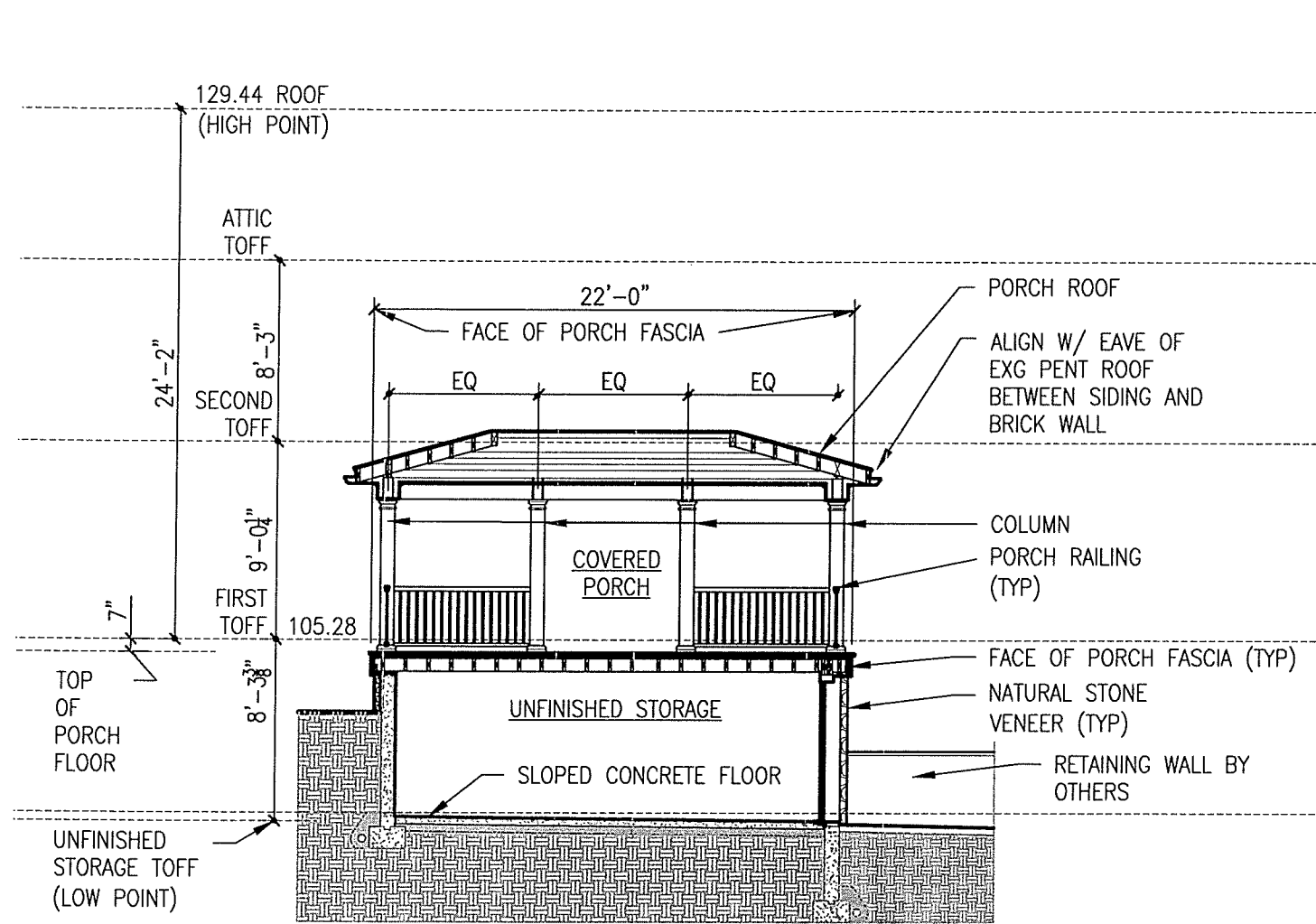
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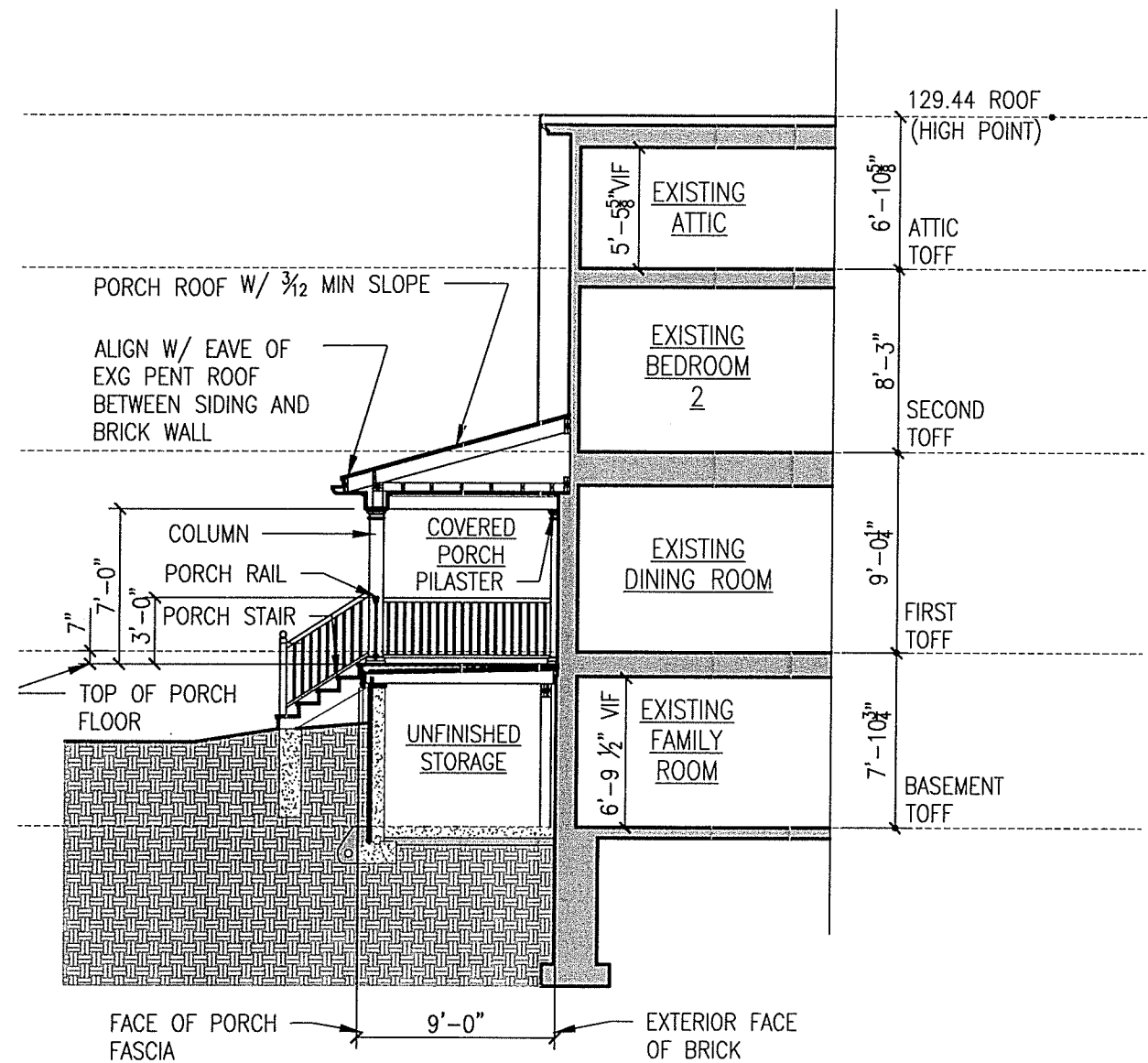


PROPOSED 1ST FLOOR PLAN & 2ND FLOOR PLAN SHOWING PORCH

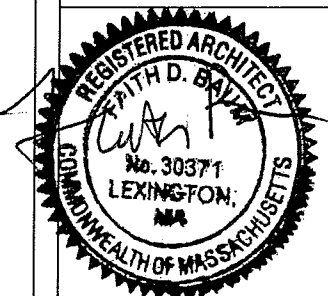
A1.2



1 E-W SECTION



2 N-S SECTION



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SCALE:
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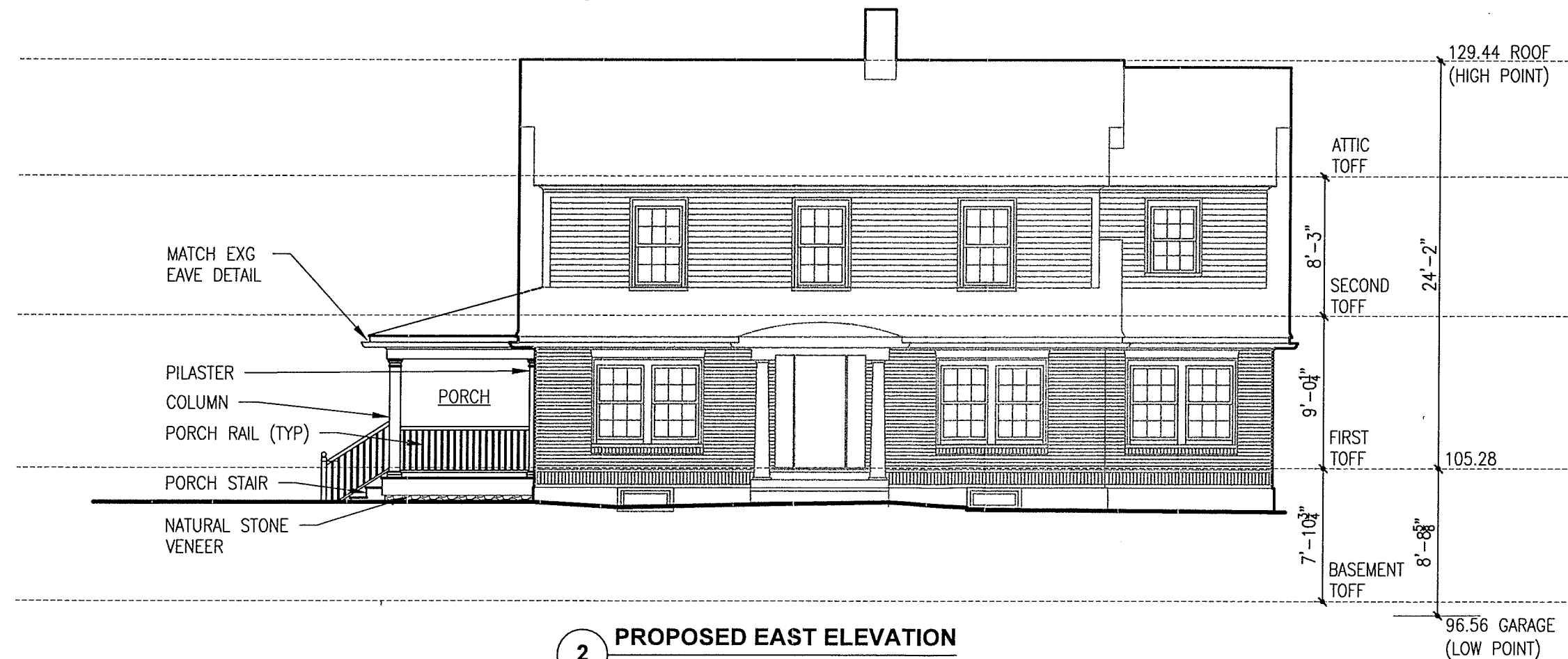
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PROPOSED
E-W SECTION
AND
N-S SECTION
SHOWING
PORCH

A2.0



1 EXISTING EAST ELEVATION



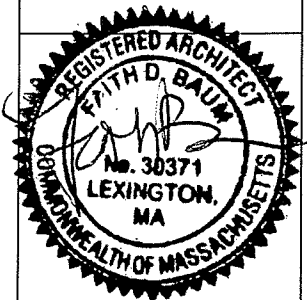
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EXISTING AND
PROPOSED
EAST
ELEVATION
SHOWING
PORCH

A3.0



1 EXISTING WEST ELEVATION



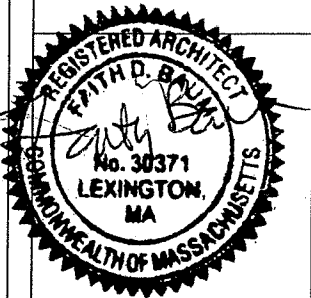
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EXISTING AND
PROPOSED
WEST
ELEVATION
SHOWING
PORCH

A3.1



1 EXISTING NORTH ELEVATION



2 PROPOSED NORTH ELEVATION

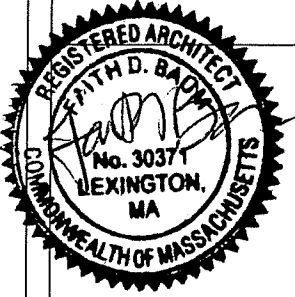
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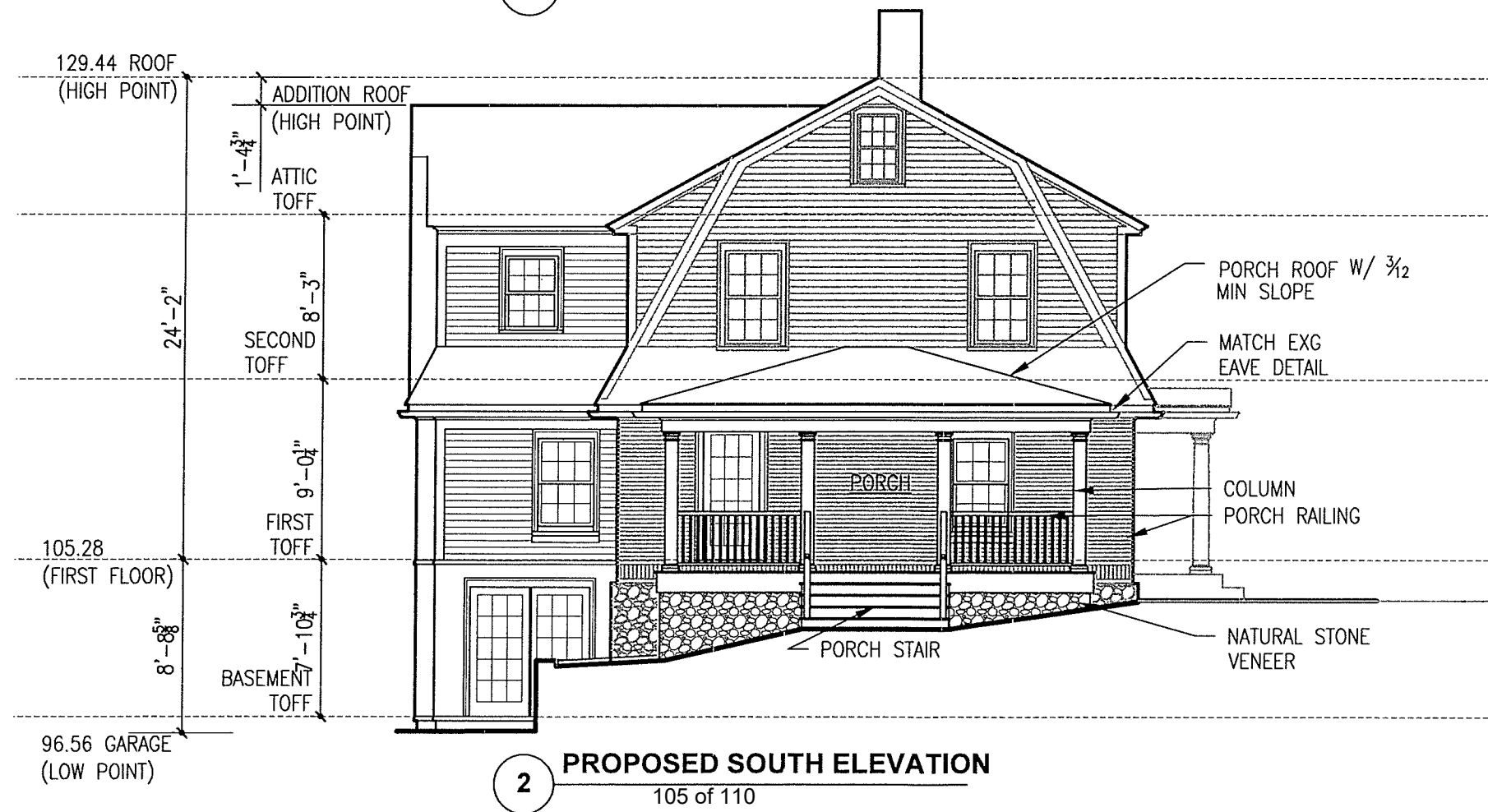


EXISTING AND
PROPOSED
NORTH
ELEVATION

A3.2



1 EXISTING SOUTH ELEVATION



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EXISTING AND PROPOSED SOUTH ELEVATION SHOWING PORCH

A3.3



11 UPLAND ROAD



19 LANGLEY ROAD



20 LANGLEY ROAD



65 FALMOUTH ROAD



200 CROSBY STREET

NEIGHBORHOOD FEATURES

ONE STORY **PORCHES** FLANKING THE MAIN BODY OF THE HOUSE.

FRONT **ENTRIES** CENTERED ON THE MASS OF THE BODY OF THE HOUSE.

SCALE CREATED BY SECONDARY ROOFS LOCATED OVER THE FIRST STORY.

STRONG PEDESTRIAN **CONNECTIONS** TO THE YARD AND TO THE STREET



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Claire Ricker, Director, Department of Planning and Community Development
Marisa Lau, Senior Planner
Date: 10/21/2022
RE: Docket 3718 – 24 Langley Rd; Special Permit under Zoning Bylaw Section 5.3.9(A)
Projections into Minimum Yards

The applicants, Lindsey and Herb Sweeney, seek a Special Permit in accordance with Section 5.3.9 (A) Projections into Minimum Yards. The applicant seeks to construct a covered rear porch along the entire rear façade of a single-family home located on a corner lot. The renovations also include demolition of a deck and covered entry to be replaced with a two-story addition. The proposed porch is approximately 200 square feet, which exceeds the maximum 25 square foot projection into a minimum yard allowable by right in the Zoning Bylaw. The purpose of the project is to create a convenient outdoor gathering place and secondary entrance to the dwelling.

The structure is in the R-1 Zoning District and is nonconforming with the Zoning Bylaw's usable open space requirements. The proposed porch would project forward approximately 9 feet from the rear façade, decreasing the rear yard setback from 22.3 feet to 13.7 feet (change of +/- 8.6 feet).

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R-1 Zoning District through the granting of a special permit.

Criterion #2: Public Convenience/Welfare

This proposal would improve the convenience and safety of the owner's secondary entrance to their home.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

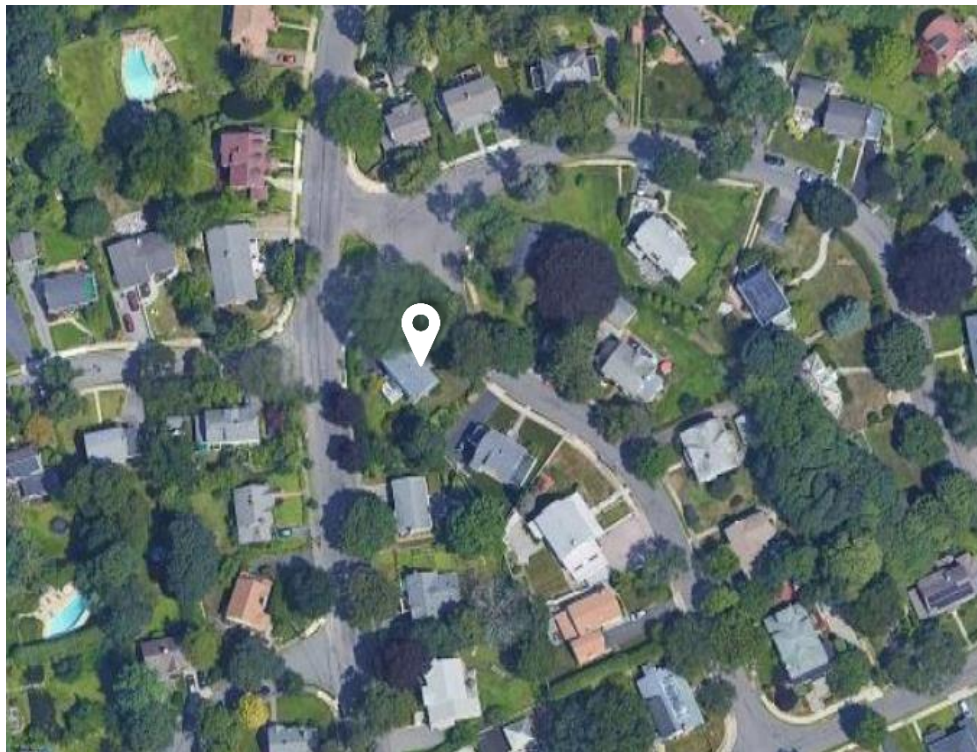
While the proposed porch exceeds the maximum square footage allowable by right, covered or enclosed entries are a common feature of structures in the surrounding neighborhood, including on Langley Road and Falmouth Road. Two nearby homes across the street from the property have usable front or side porches that span the full width or depth of the structure, similar to the proposal.

Consistent with the Residential Design Guidelines, the proposed design will introduce human-scaled architectural variation to the overall streetscape and add visual interest to the structure.¹ Furthermore, the porch addition helps break apart the primary massing and reduce the overall appearance of height.² While the porch matches the style and level of detailing of the existing house, the applicant may consider proposing windows on the north elevation of the two-story addition for consistency. Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-based photos of the current building:



¹ Principle B-1 (pg. 26) and C-1 (pg. 34), Residential Design Guidelines, available at <https://www.arlingtonma.gov/home/showpublisheddocument/54518/637472609831970000>

² Principle B-2 (pg. 31) and B-3 (pg. 33), Residential Design Guidelines



Summary of Analysis:

The Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Special Permit criteria in Section 3.3.3, A through G, of the Zoning Bylaw.

Related Dockets:

- #3711: 101 Robbins Road – Applicant sought a special permit to construct a covered front porch. Approved on 8/30/22.
- #3701: 79 Ronald Road – Applicant sought a special permit to construct an enclosed mudroom and covered front porch. Approved on 7/12/22.
- #3696: 82 Grandview Road – Applicant sought a special permit to construct a covered front porch. Approved on 6/28/22.